

TAB 6

**CITY OF PALMETTO
ORDINANCE NO. 09-991**

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF PALMETTO, FLORIDA, PROVIDING FOR FINDINGS OF FACT; APPROVING A GENERAL DEVELOPMENT PLAN FOR THE PROPERTIES DESCRIBED HEREIN; PROVIDING FOR REPEAL OF ORDINANCES IN CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE (GDP 04-403 GDP-II, Holy Cross Manor II/Diocese of Venice, 520 26th St. W., approximately 4.01 acres).

WHEREAS, Article VIII, Section 2 of the Florida Constitution provides that municipalities shall have governmental, corporate and proprietary powers to enable municipalities to conduct municipal government, perform municipal functions, and render municipal services; and,

WHEREAS, Chapter 166, Florida Statutes, the "Municipal Home Rule Powers Act," implements the applicable provisions of the Florida Constitution and authorizes municipalities to exercise any power for municipal purposes, except when expressly prohibited by law and to enact ordinances in furtherance thereof; and,

WHEREAS, the City Commission of the City of Palmetto has certain regulatory authority granted to it by the Florida Constitution, the Florida Statutes and the City Charter to regulate the use of land within its corporate boundaries; and,

WHEREAS, the City Commission of the City of Palmetto approved a Development Order and Master Development Plan for the Holy Cross Manor I, on January 24, 2005; and

WHEREAS, the City of Palmetto has received a complete and timely application for approval of a Conceptual/General Development Plan for low income elderly housing

(HUD) project as shown on the Conceptual/General Development Plan and more particularly described in **Exhibit A**; and

WHEREAS, the Planning and Zoning Board of the City of Palmetto reviewed the proposed Conceptual/General Development Plan for Holy Cross Manor II, held a properly noticed public hearing on April 13, 2009, received public comment and testimony, and provided its recommendation to the City Commission of the City of Palmetto; and,

WHEREAS, the City Commission of the City of Palmetto held a properly noticed public hearing on May 4, 2009, and received public comment and testimony at said hearing; and,

WHEREAS, the City Commission of the City of Palmetto finds that approval of the proposed Conceptual/General Development Plan benefits the public health, safety, and welfare;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF PALMETTO, FLORIDA, AS FOLLOWS:

Section 1. Finding of Fact.

A. The above-referenced "WHEREAS" clauses are adopted herein as findings of fact.

B. The Planning and Zoning Board, acting as the Local Planning Agency, has recommended approval of the proposed Conceptual/General Development Plan, a copy of which is attached hereto and incorporated herein as **Exhibit B**.

C. The proposed Conceptual/General Development Plan is consistent with the City of Palmetto's Comprehensive Plan.

D. The proposed Conceptual/General Development Plan is compatible with adjacent land uses and complies with all pertinent provisions of the City of Palmetto's Zoning Code.

Section 2. Plan Approval. The proposed Conceptual/General Development Plan is hereby approved with the following stipulations:

1. The Site Plan must comply with all applicable City Codes and the North River Fire District requirements.
2. The project site must be a minimum of 4.01 acres.

Section 3. Repeal of Ordinance. This Ordinance hereby repeals all ordinances and parts of ordinances in conflict herewith to the extent of such conflict.

Section 4. Severability. If any section, sub-section, paragraph, sentence, clause or phrase in this Ordinance shall be held invalid by a court of competent jurisdiction, then such invalidity shall not affect the remaining portions hereof.

Section 5. Effective Date. This Ordinance shall take effect as provided for by law and by City Charter, Section 14 upon execution by the Mayor, or if disapproval occurs, upon reconsideration by the City Commission and passing of the Ordinance by at least four (4) votes.

PASSED AND DULY ADOPTED, by the City Commission, in open session,
with a quorum present and voting, this 4th day May, 2009.

First Reading: April 20, 2009

Publication: April 24, 2009

Second Reading and
Public Hearing: May 4, 2009

CITY OF PALMETTO, FLORIDA,
BY AND THROUGH THE CITY
COMMISSION OF THE CITY OF
PALMETTO

By: _____
SHIRLEY GROOVER BRYANT,
MAYOR

ATTEST: James R. Freeman
City Clerk

By: _____
City Clerk/Deputy Clerk.

Exhibit "A" Legal Description

COM AT THE SW COR OF THE NE1/4 OF SEC 11, TWN 34S, RNG 17E; TH ALNG THE S LN OF THE NE1/4, E, 1811.80 FT; TH N, TO ITS INTERSEC WITH THE N R/W LN OF 26TH ST (40 FT WIDE R/W) & A FOUND 1 INCH IRON PIPE, 409.1 FT FOR A POB; TH N, 468.74 FT TO A FOUND 4" CONC MONUMENT; TH N 89 DEG 50 MIN 00 SEC W, 767.09 FT TO A FOUND 4 INCH CONC MONUMENT; TH S 00 DEG 00 MIN 19 SEC E, 472.09 FT TO ITS INTERSECTION WITH THE AFOREMENTIONED N R/W LN OF 26TH ST & A SET CAPPED IRON ROD, L.S. #4394; TH ALNG SD N R/W, N 89 DEG 54 MIN 58 SEC E, 767.13 FT TO THE POB; LESS OR 2011/4294 DESC AS FOLLOWS: A PARCEL OF LAND LYING IN THE NE 1/4 OF SEC 11, TWN 34, RNG 17, BEING MORE PARTICULARLY DESC AS FOLLOWS: COMM AT THE SW COR OF THE NE 1/4 OF SEC 11; TH ALG THE S LN OF THE NE 1/4, E, 1811.80 FT; TH N TO ITS INT WITH THE N R/W/L OF 26TH ST (40' WIDE R/W), 409.10 FT FOR A POB; TH S 89 DEG 54 MIN 59 SEC W, ALG SD N R/W/L A DIST OF 289.76 FT; TH N LEAVING SD N R/W/L, A DIST OF 202.68 FT; TH S 89 DEG 54 MIN 56 SEC W, A DIST OF 187.28 FT; TH N, A DIST OF 268.24 FT; TH S 89 DEG 49 MIN 20 SEC E, A DIST OF 477.00 FT; TH S A DIST OF 468.74 FT TO THE POB, PI#24219.0015/9

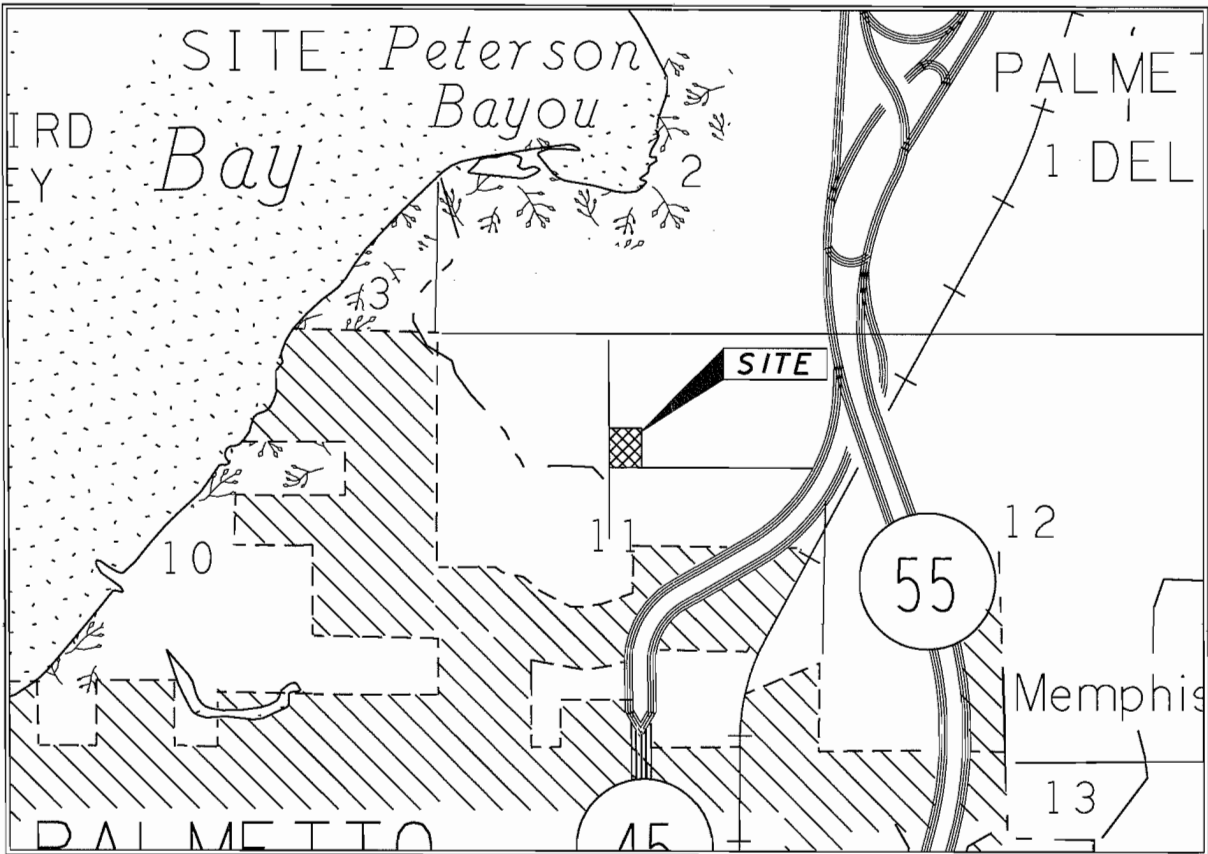
GENERAL DEVELOPMENT PLAN FOR HOLY CROSS MANOR II

CITY OF PALMETTO, FLORIDA
SECTION 11, TOWNSHIP 34 S., RANGE 17 E.

CONSTRUCTION DATE: FALL 2009

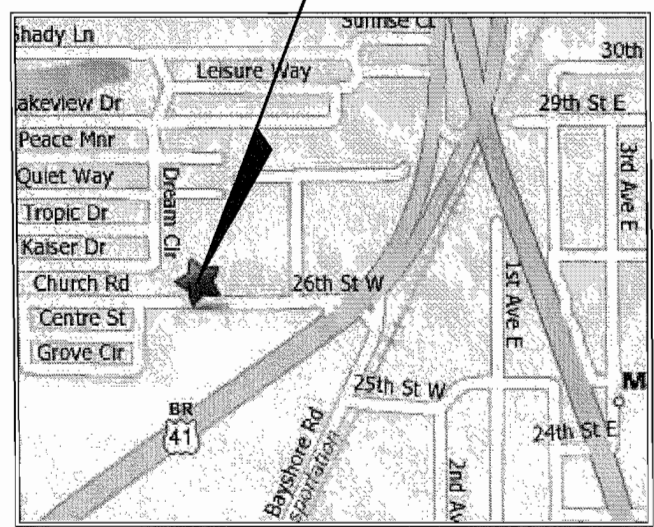
INDEX OF SHEETS

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VICINITY MAP
1" = 1 MILE

PROJECT LOCATION



LOCATION MAP
N.T.S.

PLANS PREPARED FOR:
WOODROFFE CORPORATION ARCHITECTS
5005 W. LAUREL STREET
SUITE 215
TAMPA, FL 33607
CONTACT: (813) 281-0411

PLANS PREPARED BY:

ELEMENT
ENGINEERING GROUP

1814 N. 15th STREET | TAMPA, FL 33605
P 813.386.2101 | TF 888.603.1942 | F 813.386.2106
CERTIFICATE OF AUTHORIZATION NUMBER | 26921
EOR | DEREK M. GIL, PE 54798

DATE: APRIL 20, 2009

DRC Member	OK	Signature	Date
Deputy Director of Operations			
City Planner			
Fire Marshall			
City Engineer			
DRC Coordinator			
Stipulations		Yes No	
Director of Public Works		Signature	Date

WATER AND SEWER CONSTRUCTION NOTES

ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.

ALL ON SITE PVC WATER MAINS 4 INCHES THROUGH 12 INCHES SHALL BE IN ACCORDANCE WITH ANWA C-900 STANDARDS. ALL ON SITE PVC WATER MAINS 2" TO 3" SHALL BE CLASS 1120 OR 1220 (SDR 21) AND MEET REQUIREMENTS OF ASTM D-2241. WATER MAINS SMALLER THAN 2" SHALL BE CLASS 1120 OR 1220 SCHEDULE 80 AND MEET REQUIREMENTS OF ASTM D1785.

PE PIPE 2" OR SMALLER SHALL MEET THE REQUIREMENTS OF ASTM D-1248.

ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI STANDARD A21.51. MINIMUM CLASS 50. IN AREAS WHERE THE SOIL IS DETERMINED TO BE CORROSIVE OR HIGH GROUND WATER IS EXPECTED, THE PIPE SHALL BE INSTALLED IN LOOSE POLYETHYLENE ENCASEMENT NOT LESS THAN 8 MILS THICK AND INSTALLED IN ACCORDANCE WITH ANSI SPECIFICATION A21.51.

EROSION CONTROL NOTES

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE PLANS, PERMIT CONDITIONS, SECTION 104 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2008 EDITION, AND THE CITY OF PALMETTO LAND DEVELOPMENT REGULATIONS AND FDOT DESIGN STANDARDS INDEXES NUMBER 100 THROUGH 199 AS APPLICABLE, 2008 EDITION.

THE CONTRACTOR SHALL IMPLEMENT SUCH MEASURES TO PREVENT THE TRANSPORT OF SOIL, DEBRIS AND ANY OTHER POLLUTANTS OUT OF THE WORK AREA VIA WIND, WATER, OVERLAND FLOW OR STORM SEWERS.

DRAINAGE NOTES

1. CONCRETE SHALL BE CLASS "I" AS SPECIFIED IN SECTION 345 OF FLORIDA D.O.T. SPECIFICATIONS.
2. SEE SECTION 425-2.2 "MORTAR" OF FLORIDA D.O.T. SPECIFICATIONS.
3. IRON CASTING SPECIFIED IN SECTION 962-B OF FLORIDA D.O.T. SPECIFICATIONS. SEE SECTION 425-5.
4. REINFORCEMENT STEEL AS SPECIFIED IN SECTIONS 415 & 931.1 OF FLORIDA D.O.T. SPECIFICATIONS.
5. SEE SECTION 425-3.2 "GRATINGS" OF FLORIDA D.O.T. SPECIFICATIONS.
6. SEE SECTION 125 "EXCAVATION FOR STRUCTURES" OF FLORIDA D.O.T. SPECIFICATIONS.
7. PRECAST TO BE FDOT STANDARDS WITH MINIMUM 8" THICKNESS.

UTILITY PROVIDERS

WATER	CITY OF PALMETTO, VAN BROWN 600 17TH ST. W. PALMETTO, FL 34221 941-723-4580 EXT. 117
SEWER	CITY OF PALMETTO, VAN BROWN 600 17TH ST. W. PALMETTO, FL 34221 941-723-4580 EXT. 117
ELECTRIC	FLORIDA POWER & LIGHT, TRACY STERN 5910 E. HWY 100 PALM COAST, FL 32164-2342 800-868-9554
CABLE	BRIGHT HOUSE NETWORKS, ALEX FLEMING 5413 SR 64 E. BRADENTON, FL 34208 941-748-3816 EXT. 24051
TELEPHONE	VERIZON FLORIDA, BRYAN LANTZ 1909 US HWY 301 N. BLDG. D TAMPA, FL 33619 813-740-1231

GENERAL NOTES

THESE DRAWINGS ARE TO BE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNTIL ALL PERMIT APPROVALS ARE CONFIRMED RECEIVED BY THE ENGINEER OF RECORD (EOR).

ALL WORK SHALL MEET OR EXCEED CITY OF PALMETTO STANDARDS AND SPECIFICATIONS.

WHenever a conflict occurs between any specification and/or regulatory requirement, the more stringent requirement shall apply.

It shall be the responsibility of the contractor to assure the stakeout surveyor has the most current set of plans, including all recent revisions made by addendum or request for information (RFI).

THESE DRAWINGS SHALL NOT BE UTILIZED FOR CONSTRUCTION PRIOR TO OBTAINING REQUIRED PERMITS FROM ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM WORK WITHIN PUBLIC EASEMENTS AND RIGHTS-OF-WAY AND INSURE THAT ALL OTHER REQUIRED PERMITS ARE APPROVED PRIOR TO COMMENCING THE WORK.

SOME OF THE DETAILS SHOWN INCLUDED IN THIS DRAWING SET ARE PROVIDED BY THE REVIEWING REGULATORY AGENCIES AND ARE REQUIRED BY THOSE AGENCIES TO BE SHOWN ON THE DRAWINGS FOR PERMIT APPROVAL. BY SIGNING AND SEALING THESE DRAWINGS, THE EOR IS NOT ASSUMING RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS ON THESE DETAILS. CONTRACTOR SHALL VERIFY THE DETAILS ARE THE LATEST ISSUED BY THE REGULATORY AGENCY, THE DETAILS COMPLY WITH THE LATEST TECHNICAL MANUAL SPECIFICATIONS, AND THE REGULATORY AGENCY INSPECTOR DOES NOT HAVE ANY ALTERNATE REQUIREMENTS NOT SHOWN ON THE DETAILS.

CONTRACTOR SHALL NOT COMMENCE CONSTRUCTION OF POTABLE WATER AND/OR SANITARY SEWER COLLECTION SYSTEMS PRIOR TO ASSURING THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PERMITS HAVE BEEN ACQUIRED. CONTRACTOR SHALL REVIEW SPECIFIC CONDITIONS DEPICTED ON FDEP PERMITS, WHICH MAY NOT BE SHOWN HEREON.

CONTRACTOR IS TO COORDINATE ALL WORK WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY OWNERS PRIOR TO CONSTRUCTION.

SURVEY INFORMATION AND LEGAL DESCRIPTIONS SHOWN HEREON WERE OBTAINED FROM STRAYER SURVEY AND MAPPING. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY THIS INFORMATION AND BE FAMILIAR WITH ALL SITE CONDITIONS (INCLUDING SUB-SURFACE CONDITIONS AND UTILITIES) PRIOR TO COMMENCING THE WORK. DAMAGES TO ANY EXISTING FACILITIES (ABOVE-GROUND AND UNDERGROUND) SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHETHER OR NOT SHOWN HEREON. THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND UTILITY NOTIFICATION CENTER (CALL SUNSHINE STATE ONE CALL AT 1-800-432-4770) 48 HOURS PRIOR TO COMMENCING THE WORK.

DEMOLITION WORK SHALL NOT BE LIMITED TO THESE DOCUMENTS TO COMPLETE PROJECT AS SHOWN. CONTRACTOR TO REMOVE ALL ITEMS NECESSARY TO ALLOW FOR NEW CONSTRUCTION.

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY THE FEASIBILITY OF CONSTRUCTING GRAVITY SEWER SYSTEMS I.E. VERIFY EXISTING INVERTS AT POINTS OF CONNECTION, EXIT INVERTS OF BUILDING PLUMBING, GREASE TRAP CONFIGURATION, MINIMUM SLOPES, ETC.).

REFERENCED INDEX NUMBERS REFER TO DETAILS DEPICTED IN THE F.D.O.T. DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS OF STATE HIGHWAY SYSTEM, 2008.

CONSTRUCTION SHOWN ON THESE PLANS IS PERMITTED ONLY FOR THE WORK LOCATED WITHIN THE PRIVATE PROPERTY. ALL WORK WITHIN THE RIGHT-OF-WAY AND EASEMENTS WILL REQUIRE A SEPARATE PERMIT AND MAY REQUIRE AN ALTERATION TO THE CONSTRUCTION OR MATERIALS SHOWN ON THESE PLANS.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MAINTENANCE OF TRAFFIC AND PEDESTRIAN CONTROL PER APPROPRIATE FDOT SPECIFICATIONS. SEE FDOT INDEX NUMBERS 600 THROUGH 660.

ALL WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF F.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION AS SUPPLEMENTED.

CONTRACTOR SHALL LOCATE PROPERTY LINES AS REQUIRED TO AVOID ENCRoACHMENT ONTO ADJACENT PROPERTY. CONTRACTOR SHALL INVESTIGATE FOR EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY A/E IN THE EVENT OF CONFLICT.

CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY STREETS, STORM SEWERS, AND WATERWAYS. BARRIERS ARE TO BE BUILT BEFORE LAND ALTERATION, MAINTAINED EFFECTIVELY DURING CONSTRUCTION, AND REMOVED AFTER FINALIZATION. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES AND IMPLEMENT MEASURES TO PREVENT ADDITIONAL SILTATION AS REQUIRED.

CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY CONSTRUCTION TRAFFIC RELATED ACCESS POINTS TO THE PROJECT SITE AND/OR SPECIFIC AREAS OF WORK ON THE PROJECT SITE AS NECESSARY.

ALL TREES TO REMAIN MUST BE PROTECTED BY TREE PROTECTION BARRICADES MEETING THE MINIMUM STANDARDS SHOWN. PROTECTIVE BARRICADES SHALL REMAIN IN PLACE UNTIL LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.

ALL FILL SHALL CONSIST OF SATISFACTORY SOIL MATERIALS, DEFINED AS THOSE COMPLYING WITH ASTM D2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, AND SP FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS AND OTHER SIMILAR UNSUITABLE MATERIALS. UNSATISFACTORY SOIL MATERIALS ARE DEFINED AS THOSE COMPLYING WITH ASTM D2487 SOIL CLASSIFICATION GROUPS GC, SM, SC, ML, MH, CL, CH, OL, OH, AND PT. UNLESS OTHERWISE NOTED, ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% AASHTO T-100, METHOD D.

EXISTING TREES & LANDSCAPING SHOWN THIS PLAN. SEE PROPOSED LANDSCAPING PLAN FOR TREE RELOCATION OR REMOVAL AND NEW LANDSCAPING. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES WHICH ARE NOT MARKED TO BE REMOVED.

TREE LIMBS SHALL BE PRUNED AS REQUIRED FOR NEW CONSTRUCTION. WHEN TREE LIMBS OVERHANG EXISTING OR NEW VEHICULAR USE AREAS, THE CONTRACTOR SHALL PRUNE SUCH TREES TO PROVIDE CLEARANCE MEETING THE STANDARDS SET FORTH BY THE FLORIDA DEPARTMENT OF TRANSPORTATION. PRUNING SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.

ANY SIDEWALK WHICH BECOMES UNDERMINED OR DAMAGED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED. PERMITS WILL BE OBTAINED BY THE CONTRACTOR FOR THE CLOSING OF SIDEWALKS IN THE RIGHT-OF-WAY. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL. WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCRoACH ON THE SIDEWALK FOR A PERIOD OF MORE THAN ONE HOUR, THE CONTRACTOR SHALL PROVIDE PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS PER FDOT INDEX 660, UNLESS OTHERWISE NOTED.

ALL PEDESTRIAN ROUTES, SIDEWALKS AND RAMPS, AS WELL AS ALL HANDICAPPED SIGNS, SYMBOLS, PARKING SPACES, ETC., SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL ADA REQUIREMENTS WHETHER OR NOT SHOWN HEREON. THE CONTRACTOR SHALL VERIFY REQUIREMENTS WITH LOCAL INSPECTORS PRIOR TO POURING SIDEWALKS AND RAMPS.

ALL CONSTRUCTION IS TO COMPLY WITH THE M.U.T.C.D. AND CURRENTLY ADOPTED CODES, INCLUDING: FLORIDA FIRE PREVENTION CODE, 2004; THE LATEST EDITIONS OF THE NATIONAL FIRE PREVENTION ASSOCIATION (NFPA) #1 FIRE PREVENTION CODE AND #101 LIFE SAFETY CODE; THE LATEST STANDARD BUILDING CODE; STANDARD MECHANICAL CODE; NFPA 70, NATIONAL ELECTRICAL CODE; FLORIDA STATUTE 633, WHICH INCLUDES: STATE FIRE MARSHAL'S RULES AND REGULATIONS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH STATE AND LOCAL ORDINANCES AND BUILDING REGULATIONS. ALL PLUMBING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NFPA, THE FLORIDA BUILDING CODE - PLUMBING AND LOCAL REGULATORY REQUIREMENTS.

PORTIONS OF WORK AND/OR MATERIALS FOR THE UTILITY CONNECTIONS MAY BE PROVIDED BY THE GOVERNING MUNICIPALITY. CONTRACTOR TO VERIFY AND COORDINATE.

WATER AND SANITARY SEWER SYSTEMS SHALL NOT BE PLACED INTO SERVICE UNTIL INSPECTED AND APPROVED BY THE FDEP AND OTHER PERTINENT REGULATORY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND OBTAINING THE FOLLOWING ITEMS:

- * INSPECTOR APPROVALS
- * CURRENT BACTERIOLOGICAL TEST RESULTS
- * PRESSURE, INFILTRATION AND OTHER APPROPRIATE TEST RESULTS
- * LOCATING WIRE CONTINUITY TESTS
- * AS-BUILT SURVEYS

ALL APPLICABLE ITEMS SHALL BE PROVIDED TO ELEMENT ENGINEERING GROUP A MINIMUM OF 60 DAYS PRIOR TO FINAL ACCEPTANCE AND PLACEMENT INTO OPERATION.

ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITY ACCOMMODATIONS MANUAL.

COMPACTION FOR PIPE BACKFILL SHALL COMPLY WITH AASHTO T-99 (100%).

UNLESS OTHERWISE NOTED, ALL RCP SHALL BE CLASS III, WALL "B".

PIPE LENGTHS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED AS REQUIRED.

ALL DIMENSIONS ARE TO OUTSIDE WALL OF BUILDING AND FRONT FACE OF CURB UNLESS OTHERWISE NOTED.

PROVIDE PAVEMENT MARKINGS AS SHOWN PER FDOT DESIGN STANDARDS INDEX NO. 17346.

SIGNS AND BARRICADES PER FDOT DESIGN STANDARDS INDEXES 600 THRU 650.

THE CONTRACTOR SHALL RESTORE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, ETC. WITH MATERIALS OF THE SAME TYPE OR BETTER THAN THAT REMOVED DURING CONSTRUCTION.

PRIOR TO PAVING, THE CONTRACTOR SHALL ENSURE ALL NEW UNDERGROUND UTILITIES, I.E. ELECTRIC, IRRIGATION, ETC., HAVE BEEN INSTALLED. IF PAVING IS TO OCCUR BEFORE THE INSTALLATION OF ANY UNDERGROUND UTILITIES, THE CONTRACTOR SHALL INSURE THE NECESSARY CONDUITS ARE PROVIDED AND SHALL COORDINATE THE LOCATIONS WITH THE CONSTRUCTION PLANS.

CONTRACTOR SHALL SECURE ALL OPENINGS UNDER CONSTRUCTION AT THE END OF EACH WORKING DAY.

GRASS SOD AND SEED SHALL BE BAHIA, UNLESS OTHERWISE SHOWN ON THE LANDSCAPE PLANS. SEED AND MULCH ALL AREAS LEFT BARREN FROM CONSTRUCTION. SOD ALL SLOPES GREATER THAN 5:1, WHETHER OR NOT SHOWN HEREON. ALL RETENTION POND BANKS SHALL BE SODDED, REGARDLESS OF SLOPE, TO THE POND BOTTOM OR THE WATER LINE AT THE TIME OF INSTALLATION FOR DESIGNED WET POUNDS. STEEP SLOPES TO BE SODDED AS SOON AS POSSIBLE AFTER FINE GRADING TO PREVENT EROSION.

THE CONTRACTOR SHALL PROVIDE ELEMENT ENGINEERING GROUP WITH AS-BUILT SURVEYS PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR OF ALL WATER, SANITARY SEWER AND STORMWATER MANAGEMENT SYSTEMS AS REQUIRED BY THE FDEP AND THE SHMWD. SANITARY SEWER AS-BUILT'S SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTING PAVEMENT.

BUILDING DESCRIPTION

BASED ON FLORIDA BUILDING CODE 2004 EDITION WITH 2005 & 2006 AMENDMENT NFPA 101 (LIFE SAFETY CODE) 2000 EDITION.

BUILDING DESCRIPTION	CODES	
3 STORY BUILDING 34'-8" CENTER OF ROOF SPRINKLERED	NFPA 101,2006	IBC 2007
	CHAPTER 12 & 13 RESIDENTIAL OCCUPANCY	TYPE III-B UNPROTECTED FULLY SPRINKLERED

1. THREE STORY CONSTRUCTION - FIRE RATING NOT REQUIRED EXCEPT FOR SPECIAL HAZARD AREAS AND PROXIMITY TO OTHER BUILDINGS, PER TABLE 601 IBC 2007.
2. USE AND OCCUPANCY CLASSIFICATION:

ASSEMBLY OCCUPANCY GROUP R-2
PER SECTION 310, IBC 2004
3. PER TABLE 503, IBC 2007 CONSTRUCTION:

ASSEMBLY OCCUPANCY GROUP R-2
TYPE III-B UNPROTECTED, FULLY SPRINKLERED.
4. MAXIMUM COMMON PATH OF TRAVEL (SPRINKLERED) FOR ASSEMBLY IS 75' PER NFPA TABLE A.7.6.1

A/C BUILDING AREA = 52,056 SQ. FT.
NON-A/C BUILDING AREA (PATIOS, OPEN SEATING & CORRIDORS) = 1435 SQ. FT.

TOTAL GROSS SQ. FT. = 53,491 SQ. FT.
5. MINIMUM REQUIRED INTERIOR FINISHES PER TABLE 803.5, IBC 2007 ASSEMBLY (R-2):
EXIT ACCESS CORRIDORS AND OTHER EXITWAYS: CLASS C
ROOMS AND ENCLOSED SPACES: CLASS C

DESCRIPTION FOR CLASS B & C PER SECTION 803.1, IBC 2007
6. PER TABLE 1004.1.2, IBC 2004 OCCUPANT LOAD = 200
PLEASE REFER TO SHEET AD.16 FOR OCCUPANT LOAD FOR EACH ROOM.
7. MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD (TABLE 1016.1, IBC 2007) = 2

NOTES:
TO THE BEST OF OUR KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

DEMOLITION NOTES

DEMOLITION WORK SHALL NOT BE LIMITED TO THESE DOCUMENTS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND EXTENT OF REMOVAL OF ITEMS SHOWN PRIOR TO USING THIS INFORMATION FOR BID PURPOSES.

CONTRACTOR TO COMPLETELY REMOVE EXISTING ITEMS ON SITE INCLUDING CURBS, ASPHALT, BASE COURSE, CONCRETE AND EXISTING UTILITIES AS SHOWN AND NECESSARY TO ALLOW FOR NEW CONSTRUCTION.

LOCAL CODES APPLY FOR ANY DEMOLITION SHOWN HEREON.

CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES. FOR ANY UTILITIES SHOWN TO BE REMOVED OR RELOCATED HEREON, EARLY IN CONSTRUCTION PROCESS, AS TO AVOID ANY DELAYS.

CONTRACTOR TO FIELD COORDINATE PHASING OF ALL DEMOLITION AND CONSTRUCTION TO LIMIT INTERRUPTION OF TRAFFIC FLOW AND DAILY OPERATIONS.

CONTACT ENGINEER IMMEDIATELY IF ANY UNDERGROUND STRUCTURES, FOUND DURING EXCAVATION, IMPEDE THE COMPLETION OF CONSTRUCTION AS SHOWN.

FLOOD ZONE

DATUM

C (120)53 0187 B 3/15/84) NAVD 1988

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AC 00079
ELEMENT
ENGINEERING GROUP
1814 N. 15th STREET | TAMPA, FL 33605
P 813.386.2101 | F 813.386.2106
CERTIFICATE OF AUTHORIZATION NUMBER 176921

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE EXISTING SITE PRIOR TO CONSTRUCTION AND NOTIFY A/E OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR UNCLARIFICATIONS BEFORE BEGINNING CONSTRUCTION. THESE DRAWINGS SCALE THESE DRAWINGS.

DEREK M. GIL PE 54796

NEW FREESTANDING BUILDING
HOLY CROSS MANOR II
SENIOR HOUSING
for : DIOCESE OF VENICE
510 WEST 26TH STREET
PALMETTO, FL

DATE:

PROJECT:

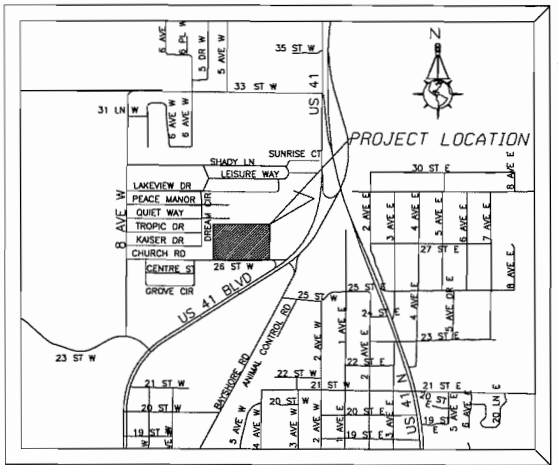
REVISIONS:

SHEET
CONTENTS

GENERAL
NOTES

SHEET

C2.0



VICINITY MAP
SECTION 11, TOWNSHIP 34 S., RANGE 17 E.
NOT TO SCALE

SURVEYOR'S NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE RECORD DEED, THE NORTHEASTLY RAW LINE OF 26TH STREET, BEING S.89°54'56"W.
2. THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A SURFACE SURVEY AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY, BOARD, COMMISSION OR OTHER ENTITY.
3. THIS BOUNDARY SURVEY WAS PERFORMED ON THE GROUND ON 02/20/05, 3/17/06 AND 11/13/06 UNDER THE SUPERVISION OF A FLORIDA REGISTERED PROFESSIONAL SURVEYOR AND MAPPER.
4. UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED EXCEPT WHERE VISIBLE SURFACE EVIDENCE EXISTS OR AS NOTED.
5. THE SUBJECT PROPERTY FALLS WITHIN ZONE C, PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 120153 0167 B, EFFECTIVE DATE 3/15/1984.
6. THE SUBJECT PROPERTY CONTAINS PAVED DRIVES AND PARKING AREAS WITH 32 PARKING SPACES AND A HANDICAP PARKING SPACES.
7. THE SUBJECT PROPERTIES FRONTS ON AND HAS ACCESS TO 25TH STREET WEST, A PUBLIC DEDICATED RIGHT-OF-WAY.
8. UNDERGROUND ENCROACHMENTS, IF ANY, HAVE NOT BEEN LOCATED OR SHOWN.
9. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
10. TOTAL AREA OF SUBJECT PROPERTY = 136,148.9 SQUARE FEET± OR 4.27 ACRES±. AREA OF EXISTING BUILDING = 3 STORIES OF 6,170.2 SQUARE FEET±.
11. PER CURRENT COUNTY ZONING FOR A-1, SETBACK LINES - 50' FRONT, 25' REAR, SIDE IS 10' AND HEIGHT RESTRICTION = 35'.
12. THE LEGAL DESCRIPTION SHOWN HEREON DESCRIBES THE SAME PROPERTY AS IN TITLE COMMITMENT NO. MP-3311547 PREPARED BY ATTORNEYS' TITLE INSURANCE FUND.
13. ADDRESS OF SUBJECT PARCEL IS 510 26TH STREET WEST PALMETTO, FLORIDA.
14. RESEARCH OR DETERMINATION OF UNLAWFUL FILL, EXCAVATION, HAZARDOUS WASTE, RIGHT-OF-WAY TAKINGS, PAST, PRESENT OR FUTURE, ABILITY OR INABILITY TO USE THIS PARCEL FOR ANY PURPOSE WHATSOEVER IS NOT INCLUDED AS PART OF THIS SURVEY. THE DETERMINATION OF THE ABOVE IS THE SOLE RESPONSIBILITY OF THE USER OF THE SURVEY.
15. ALSO BEING SUBJECT TO ACROSS INGRESS/EGRESS EASEMENT OVER THE DRIVEWAY LIES BETWEEN LOTS 1 & 2 PER DOCUMENTS PREPARED BY DAVITO & LYNNAM, PA.

BOUNDARY & TOPOGRAPHIC SURVEY OF:

THE FOLLOWING DESCRIBED PARCEL LESS THE EASTERLY 187.28 FEET THEREOF:

LOT 1:

A PARCEL OF LAND LYING IN THE N.E. 1/4 OF SECTION 11, TOWNSHIP 34 SOUTH, RANGE 17 EAST, MANATEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF THE N.E. 1/4 OF SECTION 11, TOWNSHIP 34 SOUTH, RANGE 17 EAST; THENCE ALONG THE SOUTH LINE OF THE N.E. 1/4, EAST, 1011.80 FEET; THENCE NORTH, TO ITS INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 26TH STREET (40' WIDE RIGHT-OF-WAY) AND A FOUND 1" IRON PIPE, 409.1 FEET FOR A POINT OF BEGINNING; THENCE NORTH, 458.74 FEET TO A FOUND 4" CONCRETE MONUMENT; THENCE N89D50'00"E, 767.09 FEET; THENCE 401' CONCRETE MONUMENT; THENCE S89D50'00"E, 470.9 FEET TO ITS INTERSECTION WITH THE AFOREMENTIONED NORTH RIGHT-OF-WAY LINE OF 26TH STREET AND A SET CAPPED IRON ROD, I.S. #6354; THENCE ALONG SAID NORTH RIGHT-OF-WAY, N83D45'08"E, 767.13 FEET TO THE POINT OF BEGINNING.

LESS:

COMMENCE AT THE S.W. CORNER OF THE N.E. 1/4 OF SECTION 11, TOWNSHIP 34 SOUTH, RANGE 17 EAST; THENCE ALONG THE SOUTH LINE OF THE N.E. 1/4, EAST, 1011.80 FEET; THENCE NORTH, TO ITS INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 26TH STREET (40' WIDE RIGHT-OF-WAY) AND A FOUND 1" IRON PIPE, 409.1 FEET FOR A POINT OF BEGINNING; THENCE NORTH, 458.74 FEET TO A FOUND 4" CONCRETE MONUMENT; THENCE S89D50'00"E, 767.09 FEET; THENCE 401' CONCRETE MONUMENT; THENCE S89D50'00"E, 470.9 FEET TO ITS INTERSECTION WITH THE AFOREMENTIONED NORTH RIGHT-OF-WAY LINE OF 26TH STREET AND A SET CAPPED IRON ROD, I.S. #6354; THENCE ALONG SAID NORTH RIGHT-OF-WAY, N83D45'08"E, 767.13 FEET TO THE POINT OF BEGINNING.

THE SURVEY IS PROTECTED BY COPYRIGHT AND IS CERTAINLY NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CROSS MANOR INC.

SURVEY WAS PREPARED IN ACCORDANCE WITH THE "MINIMUM TECHNICAL STANDARDS SURVEYS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 27, FLORIDA STATUTES, AND IS NOT INTENDED TO MEET ANY OTHER MUNICIPAL OR STATE STANDARD OR REQUIREMENT UNLESS NOTED.

STRAIER SURVEYING & MAPPING, INC.
LICENSED SURVEYOR BUSINESS NO. 6639

ROBERT B. STRAYER, JR.
FLA. PROFESSIONAL SURVEYOR & MAPPER REG'N #5027

"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER."

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26TH STREET W.

4TH AVENUE W.

HOLY CROSS MANOR
PHASE I

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER: 00000000
ELEMENT
1814 N. 12th Street | Tampa, FL 33605
P: 813.242.2100 | F: 813.242.2109
CERTIFICATE OF AUTHORIZATION NUMBER: 10000000

CONTRACTOR SHALL VERIFY ALL
CONNECTIONS AND DIMENSIONS TO THE
JOB SITE AND NOTIFY THE
ARCHITECT IMMEDIATELY IN WRITING
IF ANY DISCREPANCIES ARE
IDENTIFIED. THESE REQUIREMENTS
DO NOT RELIEVE THE CONTRACTOR OF
THEIR OBLIGATION TO MAINTAIN
SCALE THESE SERVICES.

DESIGN BY: D.L. #1 54786

NEW FREESTANDING BUILDING
HOLY CROSS MANOR II
SENIOR HOUSING
for : DIOCESE OF VENICE
510 WEST 26TH STREET
PALMETTO, FL

DATE:
PROJECT:
REVISIONS:

SHEET
CONTENTS

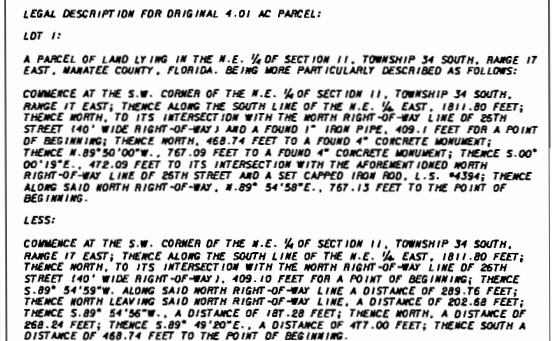
AERIAL

SHEET
C4.0



- 1) ALL LANDSCAPE SHALL COMPLY WITH ARTICLE 1X SECTION 9.4 OF THE CITY OF PALMETTO LAND DEVELOPMENT CODE.
- 2) SITE LIGHTING SHALL COMPLY WITH CHAPTER 28, ARTICLE 111, DIVISION 2, SECTION 28-76 OF THE CITY OF PALMETTO LAND DEVELOPMENT CODE AND CPED STANDARDS.
- 3) A SEPARATION OF THE PARCELS WILL BE RECORDED WITH MANATEE COUNTY CLERK OF THE COURTS.
- 4) A REQUEST WILL BE PLACED WITH MANATEE COUNTY PROPERTY APPRAISER FOR NEW PROPERTY IDENTIFICATION NUMBERS FOR BOTH OF THE NEW PARCELS THAT WILL BE CREATED.

<u>DENSITY CALCULATION</u>	
PER CITY OF PALMETTO COMPREHENSIVE PLAN	
ALLOWABLE DENSITY (PD-16) -	16 UNITS PER ACRE
DENSITY BONUS (25%) (CH. 1, OBJECTIVE 1.10) -	<u>4 UNITS PER ACRE</u>
TOTAL ALLOWABLE DENSITY -	20 UNITS PER ACRE
TOTAL PROJECT ACREAGE FOR PHASE I -	4.22 ACRES
TOTAL NUMBER OF PERMISSIBLE UNITS FOR PHASE I	84.4 UNITS (4.22 AC X 20 UNITS PER AC)
TOTAL NUMBER OF UNITS FOR PHASE I -	68 UNITS
SURPLUS UNITS FROM PHASE I -	16.4 UNITS
TOTAL NUMBER OF PROPOSED UNITS FOR PHASE II -	69 UNITS
SURPLUS UNITS TO TRANSFER TO PHASE II (CH. 1, OBJECTIVE 1.12)	<u>16.4 UNITS</u>
NET DIFFERENCE -	51.8 UNITS
PROJECT ACREAGE REQUIRED -	2.58 ACRES (51.8 AC / 20 UNITS PER AC)
PROJECT ACREAGE PROVIDED -	3.141 ACRES



LEGAL DESCRIPTION FOR PROPOSED 3.141 AC PROJECT PARCEL:
THE FOLLOWING DESCRIBED PARCEL LESS THE EASTERLY 187.88 FEET THEREOF:
LOT 11:

A PARCEL OF LAND LYING IN THE N.E. ¼ OF SECTION 11, TOWNSHIP 34 SOUTH, RANGE 17 EAST, MARATEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF THE N.E. ¼ OF SECTION 11, TOWNSHIP 34 SOUTH, RANGE 17 EAST; THENCE ALONG THE SOUTHERLY LINE OF THE N.E. ¼ EAST, 1871.00 FEET; THENCE NORTH, TO ITS INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 28TH STREET (140' WIDE RIGHT-OF-WAY) AND A FOUND 1" IRON PIPE, 409.1 FEET FOR A POINT OF BEGINNING; THENCE NORTH, TO ITS INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 28TH STREET, 189° 50'00" W., 767.00 FEET TO A FOUND 4" CONCRETE MONUMENT; THENCE S.00° 00'19" E., 478.00 FEET TO ITS INTERSECTION WITH THE APPOINTMENTED TOWNE LINE OF 28TH STREET (140' WIDE RIGHT-OF-WAY) AND A 1" IRON PIPE; THENCE NORTH, TO ITS INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 28TH STREET, 189° 54'58" E., 767.13 FEET TO THE POINT OF BEGINNING.

LESS:

COMMENCE AT THE S.W. CORNER OF THE N.E. ¼ OF SECTION 11, TOWNSHIP 34 SOUTH, RANGE 17 EAST; THENCE ALONG THE SOUTHERLY LINE OF THE N.E. ¼ EAST, 1871.00 FEET; THENCE NORTH, TO ITS INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF 28TH STREET (140' WIDE RIGHT-OF-WAY), 409.10 FEET FOR A POINT OF BEGINNING; THENCE S.89° 54'59" W. ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 289.76 FEET; THENCE NORTH, TO ITS INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE A DISTANCE OF 208.68 FEET; THENCE S.89° 54'56" W., A DISTANCE OF 187.88 FEET; THENCE NORTH, A DISTANCE OF 269.24 FEET; THENCE S.89°49'40" E., A DISTANCE OF 477.00 FEET; THENCE SOUTH A

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR BEGINNING OF FABRICATION WORK, DO NOT SCALE THESE DRAWINGS.

DEREK M. GIL, PE 54798

NEW FREESTANDING BUILDING
HOLY CROSS MANOR II
SENIOR HOUSING
for : DIOCESE OF VENICE
510 WEST 20TH STREET
PALMETTO, FL

DATE:

PROJECT:

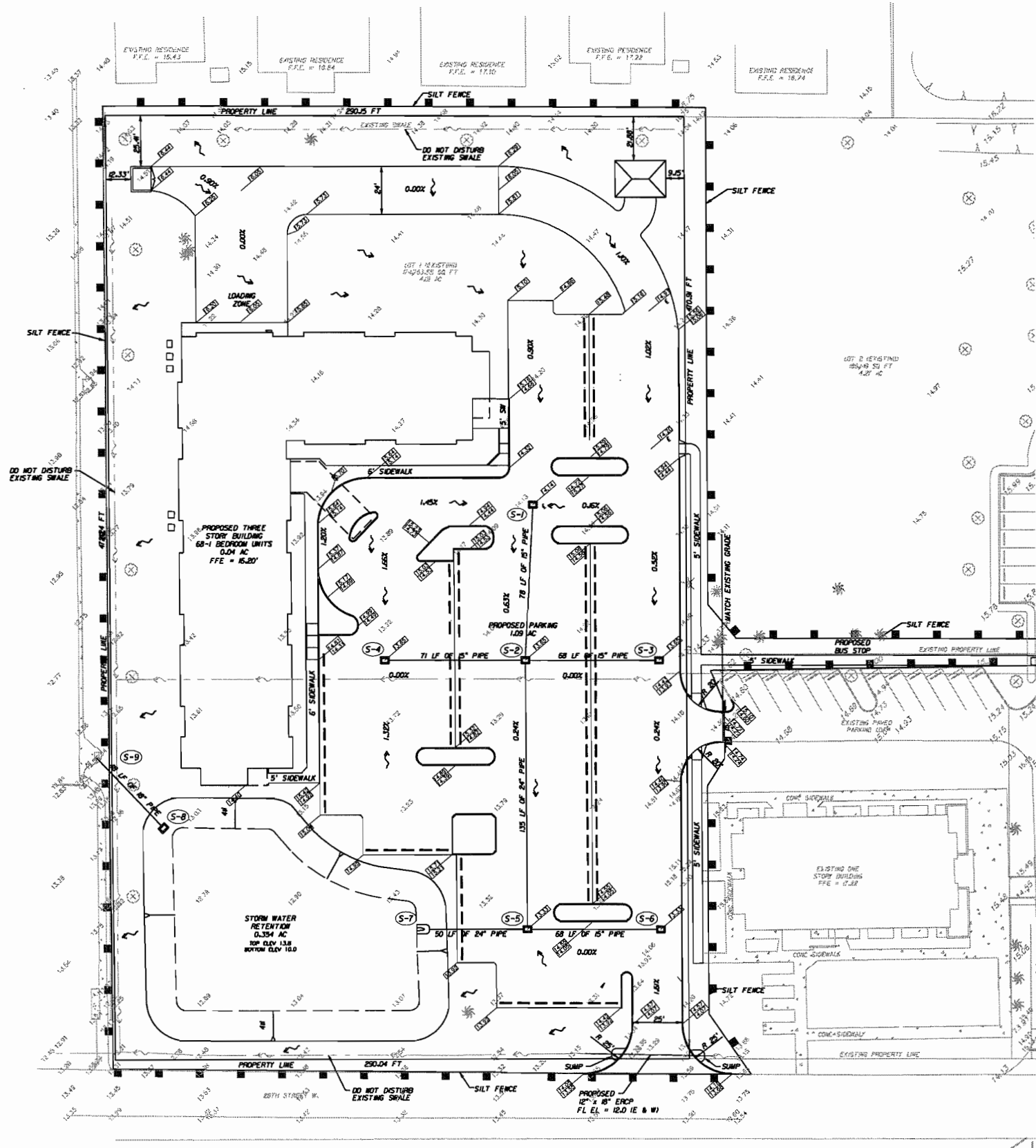
REVISIONS:

**SHEET
CONTENTS**

SITE PLAN

SHEET

C5.0



PROPOSED DRAINAGE STRUCTURES

S-1
Type C DBI
FDOT Index 232
Top Elev = 14.00
Flow Elev = 10.80

S-2
Type C DBI
FDOT Index 232
Top Elev = 13.65
Flow Elev (N, W, E) = 10.60
Flow Elev (S) = 10.30

S-3
Type C DBI
FDOT Index 232
Top Elev = 13.65
Flow Elev = 10.80

S-4
Type C DBI
FDOT Index 232
Top Elev = 13.65
Flow Elev = 10.80

S-5
Type C DBI
FDOT Index 232
Top Elev = 13.33
Flow Elev (N, E) = 10.10
Flow Elev (W) = 10.00

S-6
Type C DBI
FDOT Index 232
Top Elev = 13.33
Flow Elev = 10.50

S-7
MES (24")
FDOT Index 273
Flow Elev = 9.80

S-8
Type C DBI with Skimmer
FDOT Index 232, 240
Top Elev = 13.30
Weir Elev = 12.50
Or If Ice Elev = 11.50
Flow Elev = 10.00

S-9
Modify Existing Catch Basin
Flow Elev = 9.81

DRAINAGE NOTES:

- 1) THE STORMWATER MANAGEMENT SYSTEM SHALL COMPLY WITH ALL SWFWMD REQUIREMENTS AND CITY OF PALMETTO STANDARDS.
- 2) DESIGN STORM EVENT - 25YR, 24 HR



CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE
DESIGNER OF ANY DISCREPANCIES
OR OMISSIONS BEFORE BEGINNING
CONSTRUCTION. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
SCALE THESE DRAWINGS.

DEREK M. GIL, PE 54798

NEW FREESTANDING BUILDING
HOLY CROSS MANOR II
SENIOR HOUSING
for : DIOCESE OF VENICE
510 WEST 28TH STREET
PALMETTO, FL

DATE:

PROJECT:

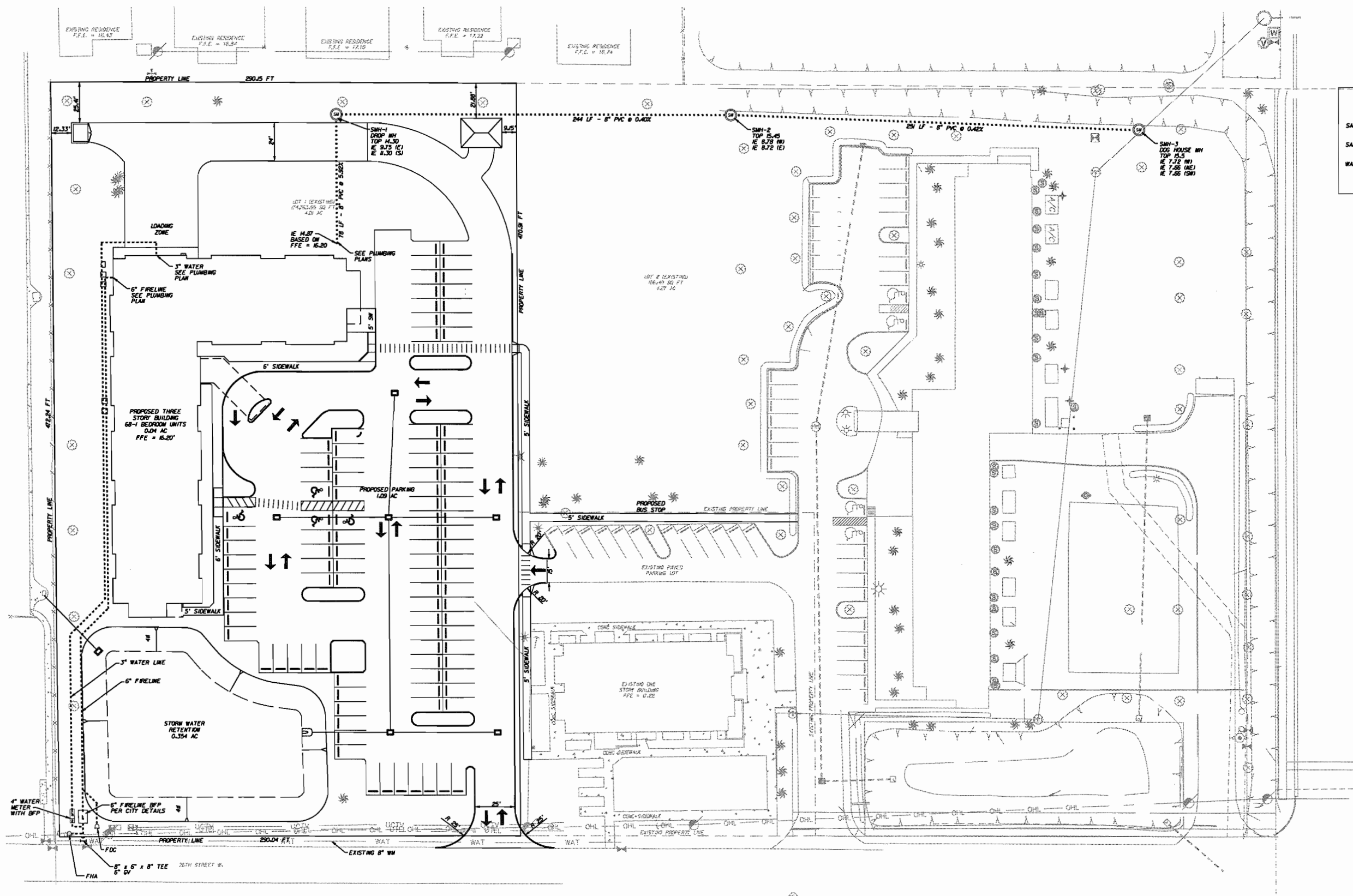
REVISIONS:

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GRADING
AND
DRAINAGE
PLAN

SHEET

C6.0



LEGEND

- SANITARY SEWER
- SANITARY MANHOLE
- WATER LINE

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AA 000373
ELEMENT

CONTRACTOR SHALL VERIFY ALL
EXISTING UTILITIES AND CONDITIONS AT THE
JOB SITE AND NOTIFY THE
ARCHITECT IMMEDIATELY IN WRITING
OF ANY DISCREPANCIES BEFORE BEGINNING
OR FURNISHING ANY WORK. DO NOT
SCALE THESE DRAWINGS.

DEREK M. GIL, PE 54798

NEW FREESTANDING BUILDING
HOLY CROSS MANOR II
SENIOR HOUSING
for : DIOCESE OF VENICE
510 WEST 26TH STREET
PALMETTO, FL

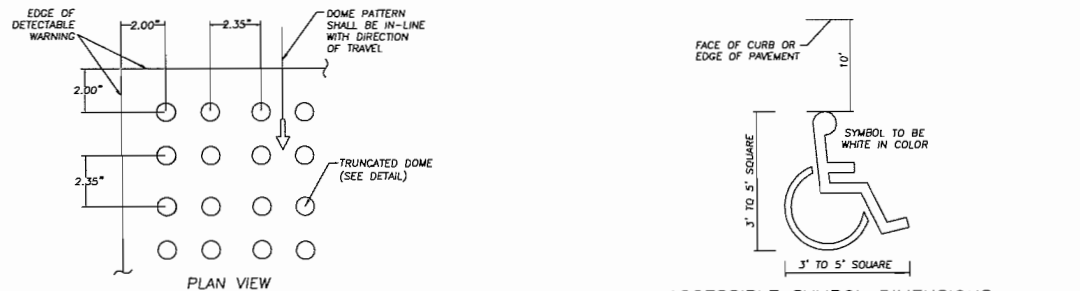
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PROJECT:
REVISIONS:

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UTILITY
PLAN

SHEET
C7.0

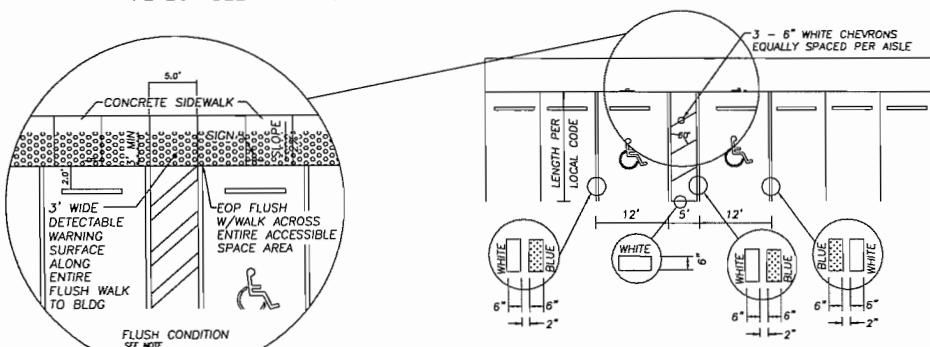
1814 N. 15th STREET | TAMPA, FL 33605
P 813.386.2101 | F 813.386.2106
CERTIFICATE OF AUTHORIZATION NUMBER | 26921



ACCESSIBLE SYMBOL DIMENSIONS

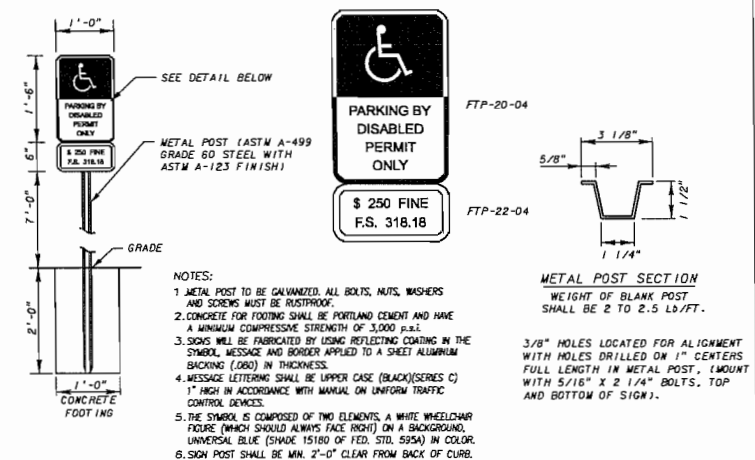
NOTE:
FLUSH SIDEWALKS NOT SEPARATED BY CURBS, RAILINGS, OR OTHER BARRIERS BETWEEN THE HANDICAP ACCESSIBLE PEDESTRIAN AREAS AND VEHICULAR USE AREAS, SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING SURFACE WHICH IS 36\"/>

TRUNCATED DOME
DETECTABLE WARNING

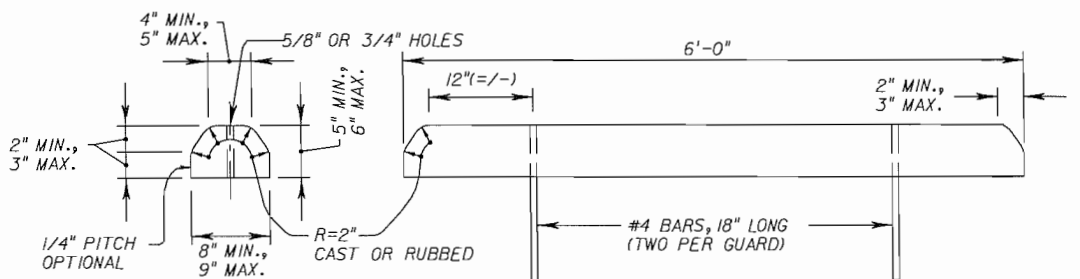


TYPICAL ACCESSIBLE SPACE LAYOUT
PER FOOT INDEX #17346-10

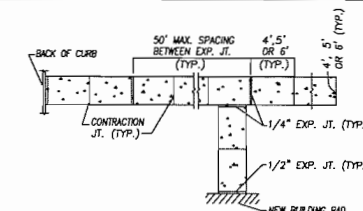
ACCESSIBLE PARKING / FLUSH RAMP DETAIL SETUP
N.T.S.



HANDICAPPED SIGNAGE DETAIL
N.T.S.

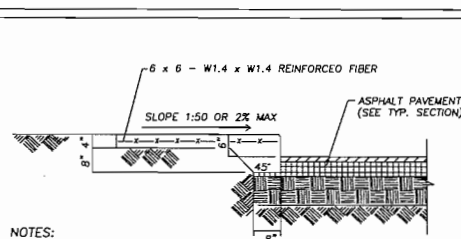


CONCRETE BUMPER GUARD WHEEL STOP DETAIL
N.T.S.



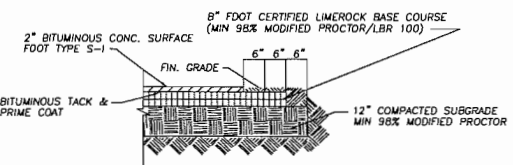
TYPICAL SIDEWALK LAYOUT
N.T.S.

- NOTES:
1. ALL SIDEWALKS SHALL BE 4\"/>

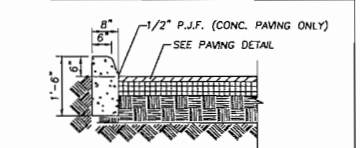


- NOTES:
1. ALL CONCRETE IS TO BE 3000 P.S.I.
 2. GROUND IS TO BE COMPACTED PRIOR TO POURING (TOP 6\"/>

TYP. INTEGRAL SIDEWALK/CURB SECTION
N.T.S.

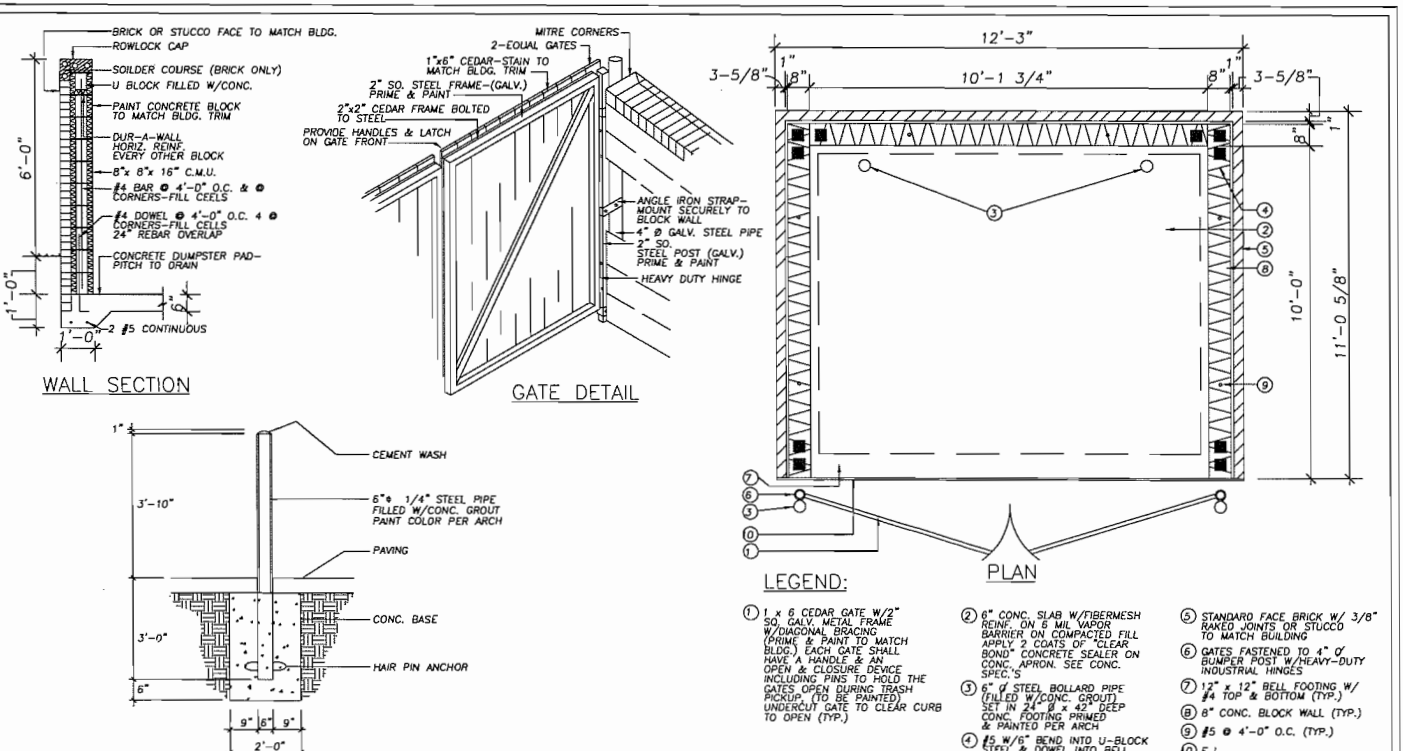


CONSTRUCTED AS PER FOOT SPECIFICATIONS
TYP. ASPHALT PAVING SECTION
TRUCK OR BUS USE AREA
N.T.S.



- NOTES:
1. PROVIDE 1/8\"/>

F.O.D.T. INDEX NO. 300
TYPE "D" CURB
N.T.S.



WALL SECTION
GATE DETAIL
BOLLARD DETAIL
DUMPSTER ENCLOSURE DETAIL
N.T.S.

- LEGEND:
1. 1 x 6 CEDAR GATE W/2\"/>

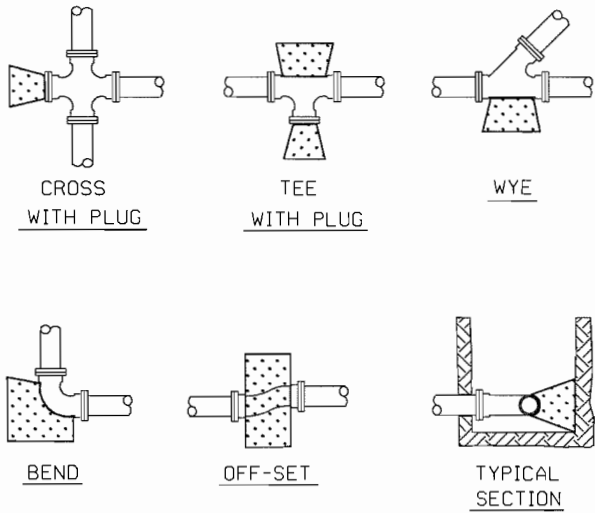
WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AL C00079
1814 N. 15th STREET | TAMPA, FL 33605
P 813.366.2101 F 813.366.2106
CERTIFICATE OF AUTHORIZATION NUMBER 126921

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING CONSTRUCTION. SCALE THESE DRAWINGS.

DEREK M. OIL, PE 54798

NEW FREESTANDING BUILDING
HOLY CROSS MANOR II
SENIOR HOUSING
for : DIOCESE OF VENICE
500 WEST 26TH STREET
PALMETTO, FL

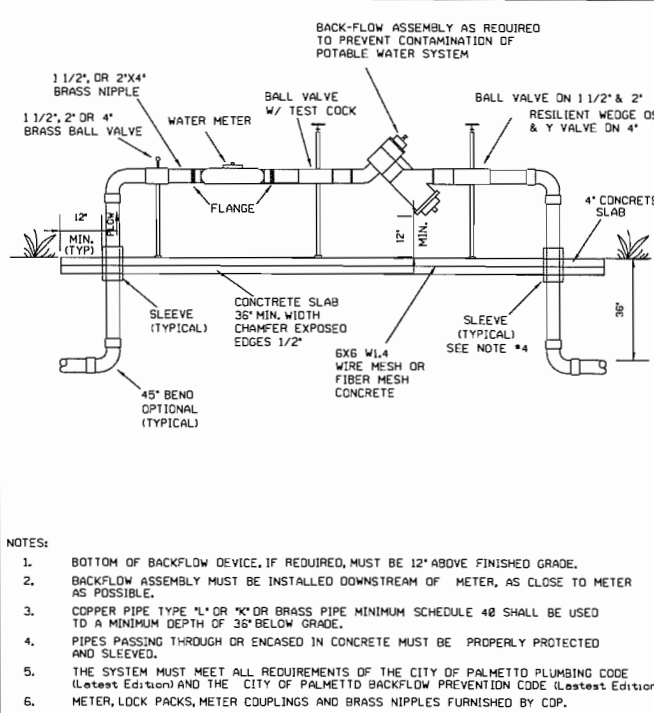
DATE:
PROJECT:
REVISIONS:
SITE DETAILS
SHEET CONTENTS
SITE DETAILS
SHEET
C8.0



- NOTES:
1. THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED SOIL.
 2. IN UNSTABLE MATERIALS, FOR VERTICAL BENDS OR OFFSETS, BLOCKING SHALL BE DESIGNED FOR ACTUAL THRUST USING THE FORMULA $P=125(h)(A)\sin(1/2 \Delta)$ WHERE $h=1/2$ RATED HEAD, A =AREA OF PIPE IN SQ. FT, Δ =ANGLE, AND P =THRUST IN POUNDS.
 3. BEFORE POURING, PLUGS SHALL BE WRAPPED WITH VISQUEEN AND A BOARD IN FRONT.
 4. CONCRETE SHALL BE 2500 PSI.
 5. THRUST BLOCKS SHOWN ALSO APPLY SANITARY FORCE MAINS.
 6. DESIGN ENGINEER TO LIST SIZES OF THRUST BLOCKS.

ITEM	CROSS REF.	SPEC. REF.

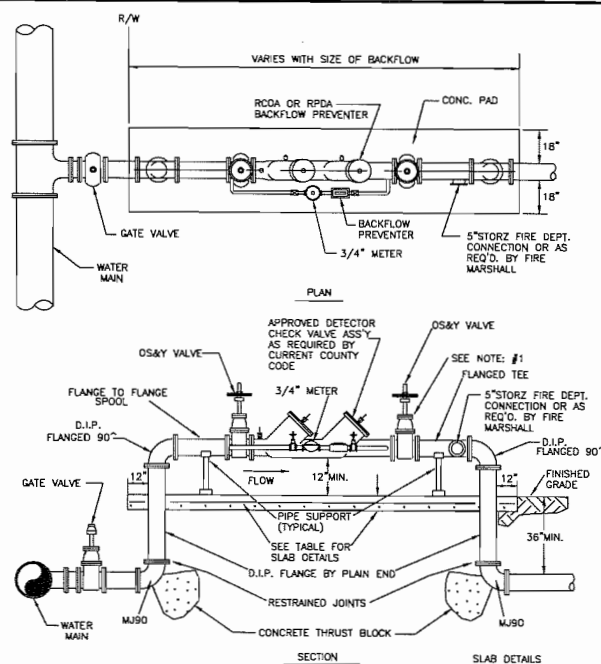
CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES	REVISED RBC 3-19-97 bom 12-21-99	MINIMUM STANDARD DETAIL	PAGE WS 3
	DATE 9-1-90		THRUST BLOCKS	



- NOTES:
1. BOTTOM OF BACKFLOW DEVICE, IF REQUIRED, MUST BE 12\"/>

ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY bwm	REVISED bom 04-13-00 bom 05-23-00	MINIMUM STANDARD DETAIL	PAGE WS 12
	DATE 04-12-00		1 1/2\", 2\" & 4\" METER & BACKFLOW PREVENTER ABOVE GROUND DETAIL	

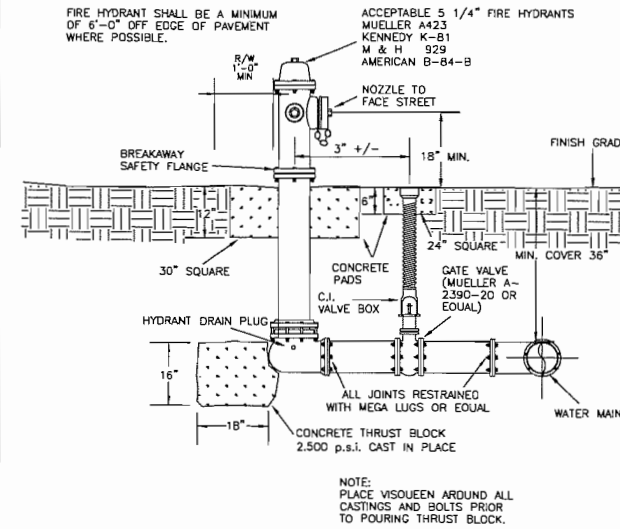


- NOTES:
1. WHEN PRESSURE TESTING FIRE LINE, TEST AGAINST DOWNSTREAM GATE VALVE.
 2. THE SYSTEM MUST MEET ALL REQUIREMENTS OF THE CITY OF PALMETTO PLUMBING CODE (LATEST EDITION) AND THE CITY OF PALMETTO BACKFLOW PREVENTION CODE (LATEST EDITION), AND THE NORTH RIVER FIRE MARSHALL REQUIREMENTS.
 3. PART BACKFLOW ASSEMBLY REQ.
 4. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2\"/>
 5. ALL JOINTS ABOVE GROUND MUST BE FLANGED.

PIPE DIAMETER	SLAB THICKNESS	REINFORCEMENT
3\" TO 10\"	4\"	6X6 W1.4 WIRE MESH
12\" TO 18\"	4\"	6X6 W3 WIRE MESH

ITEM	CROSS REF.	SPEC. REF.

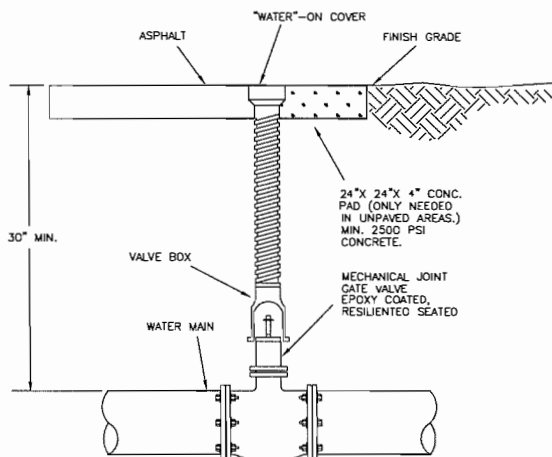
CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY bwm	REVISED bom 11-20-00	MINIMUM STANDARD DETAIL	PAGE WS 13
	DATE 06-02-00		3\" AND ABOVE FIRE LINES BACKFLOW PREVENTER	



NOTE:
PLACE VISQUEEN AROUND ALL CASTINGS AND BOLTS PRIOR TO POURING THRUST BLOCK.

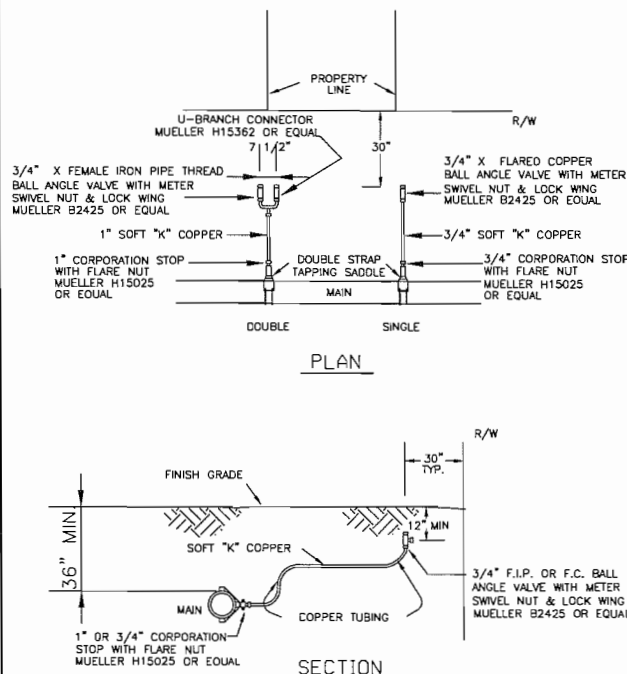
ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES	REVISED LGH 9-28-95 RBC 3-19-97 bom 12-21-99	MINIMUM STANDARD DETAIL	PAGE WS 2
	DATE 9-1-90		TYPICAL FIRE HYDRANT	



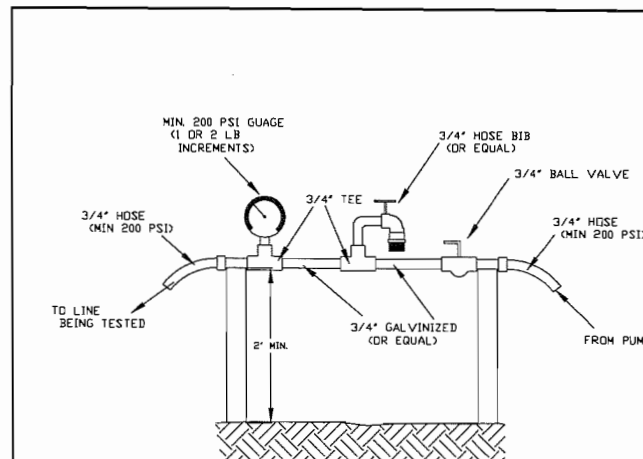
ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES	REVISED RBC 3-19-97 bom 12-21-99	MINIMUM STANDARD DETAIL	PAGE WS 1
	DATE 9-1-90		WATER VALVE	



- NOTE:
- 1.) CITY SHALL FURNISH AND INSTALL METER.
 - 2.) NEW SUBDIVISIONS-CONTRACTORS ARE TO FURNISH COR METER BOX FOR METER HOUSING. U.S. FILTER - SINGLE-WADO-1118-12C DOUBLE-WADO-1517-12C

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES	REVISED RBC 11-22-99 RBC 11-24-99 bom 12-21-99 bom 04-27-00	MINIMUM STANDARD DETAIL	PAGE
	DATE 9-1-90		WATER SERVICE	

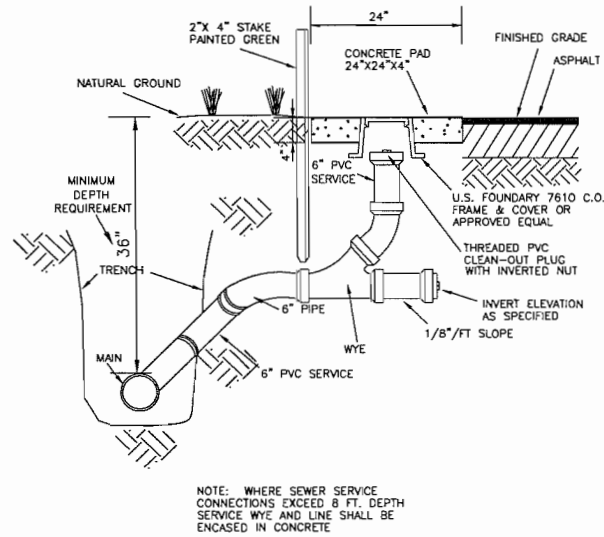


NOTE:
TEST TO RUN MINIMUM OF 2 HOURS @ 150 PSI. FAILURE POINT=5 LB LOSS

ITEM	CROSS REF.	SPEC. REF.

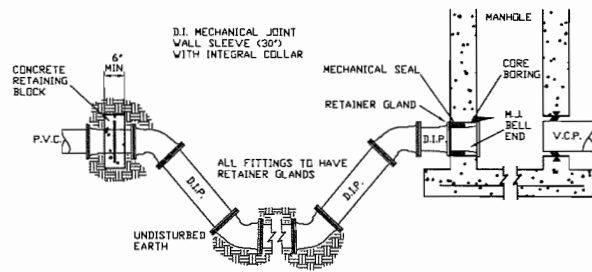
CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY bwm	REVISED bom 05-02-00	MINIMUM STANDARD DETAIL	PAGE WS 15
	DATE 05-02-00		PRESSURE TEST SETUP	

TYPICAL INSTALLATION SHOWN
FOR
NATURAL GROUND AND ASPHALT

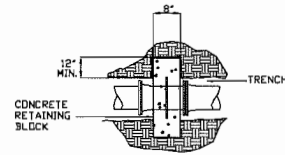


NOTE: WHERE SEWER SERVICE CONNECTIONS EXCEED 8 FT. DEPTH SERVICE WYE AND LINE SHALL BE ENCASED IN CONCRETE

ITEM	CROSS REF.	SPEC. REF.
CITY OF PALMETTO ENGINEERING DEPARTMENT	DATE 9-1-90	REVISOR RBC 3-18-97 REVISED 12-21-99
MINIMUM STANDARD DETAIL	DATE 12-6-95	REVISOR RBC 3-20-92 REVISED 12-21-99
SEWER CLEANOUT	DATE 9-1-90	REVISOR RBC 3-11-97 REVISED 12-28-99
SS 1		



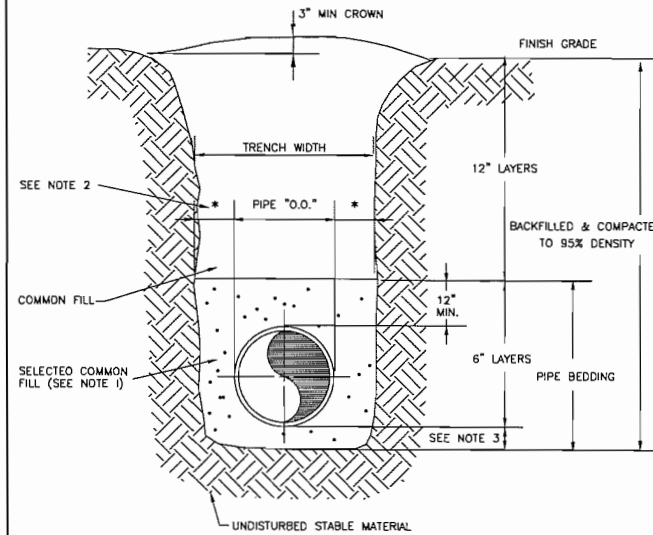
PROFILE



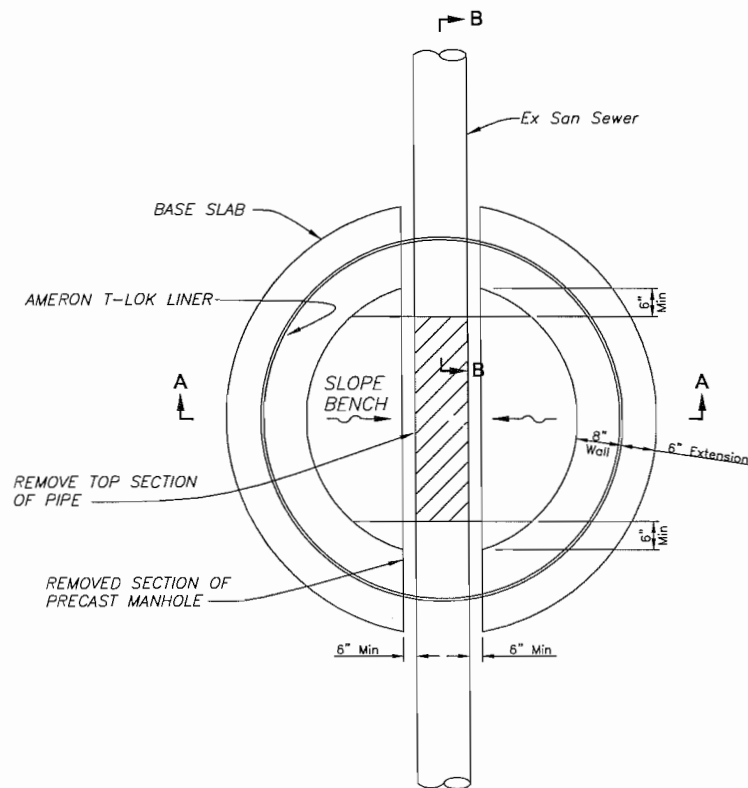
PLAN VIEW

ITEM	CROSS REF.	SPEC. REF.
CITY OF PALMETTO ENGINEERING DEPARTMENT	DATE 12-6-95	REVISOR RBC 3-20-92 REVISED 12-21-99
MINIMUM STANDARD DETAIL	DATE 9-1-90	REVISOR RBC 3-11-97 REVISED 12-28-99
FORCE MAIN CONNECTION TO MANHOLE	DATE 9-1-90	REVISOR RBC 3-11-97 REVISED 12-28-99
SS 10		

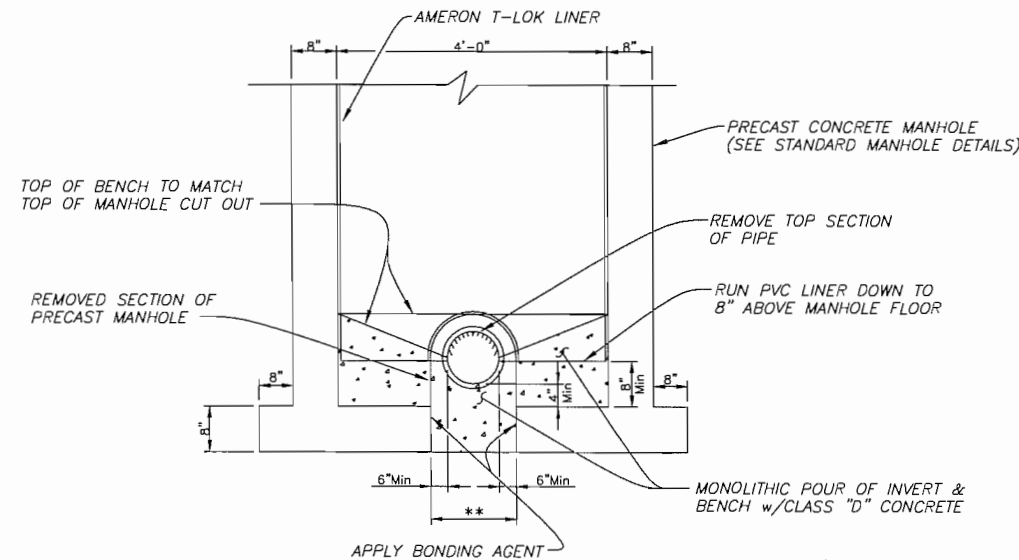
- NOTES:
1. USE OF TYPE A-2 AND A-3 PIPE BEDDING TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
 2. 10" MAX. FOR PIPE DIAMETER LESS THAN 24"; 12" MAX. FOR PIPE DIAMETER 24" AND LESS THAN 42"; 24" MAX. FOR PIPE DIAMETER 42" AND OVER.
 3. 4" MAX. FOR PIPE 15" DIA. AND LESS; 6" MAX. FOR PIPE 18" DIA. AND 9" MAX. FOR 42" DIA. AND LARGER.



ITEM	CROSS REF.	SPEC. REF.
CITY OF PALMETTO ENGINEERING DEPARTMENT	DATE 9-1-90	REVISOR RBC 3-11-97 REVISED 12-28-99
MINIMUM STANDARD DETAIL	DATE 9-1-90	REVISOR RBC 3-11-97 REVISED 12-28-99
TRENCH DETAIL UNIMPROVED SURFACE	DATE 9-1-90	REVISOR RBC 3-11-97 REVISED 12-28-99
G 9		

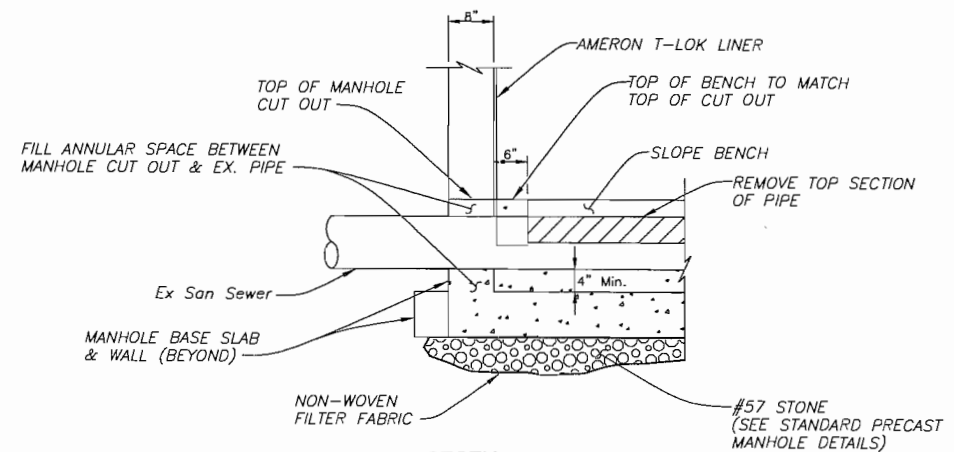


DOGHOUSE MANHOLE PLAN VIEW
Not to Scale



SECTION A-A
Not to Scale

- * EXTENSION REQUIRED FOR DOGHOUSE STYLE MANHOLES
** TYPICAL WIDTH OF OPENING IS 24" FOR AN EX. 8" PIPE



SECTION B-B
Not to Scale

NEW FREESTANDING BUILDING
HOLY CROSS MANOR II
SENIOR HOUSING
for : DIOCESE OF VENICE
510 WEST 26TH STREET
PALMETTO, FL

DATE:
PROJECT:
REVISIONS:

SHEET
CONTENTS

UTILITY
DETAILS

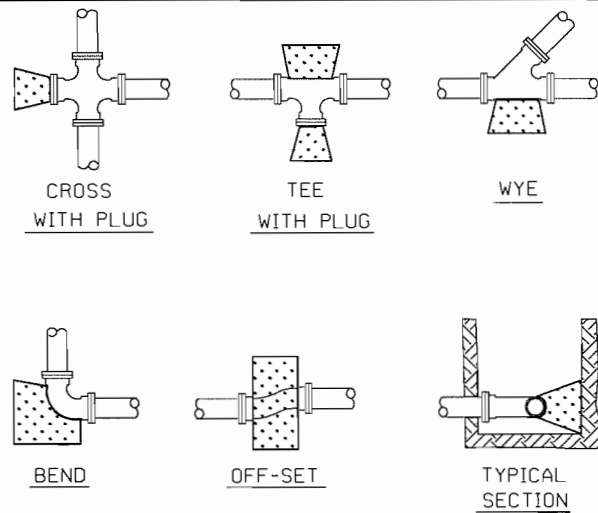
SHEET
C8.3

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER 000070

1814 N. 15th STREET | TAMPA, FL 33605
P 813.386.2101 | F 813.386.2106
CERTIFICATE OF AUTHORIZATION NUMBER | 26921

CONTRACTOR SHALL VERIFY ALL THE
CONDITIONS AND DIMENSIONS AT THE
SITE PRIOR TO CONSTRUCTION. THE
ARCHITECT IS NOT RESPONSIBLE FOR
ERRORS, OMISSIONS, OR INADEQUACIES
OR FABRICATING ANY WORK ON THE
SCALE THESE DRAWINGS.

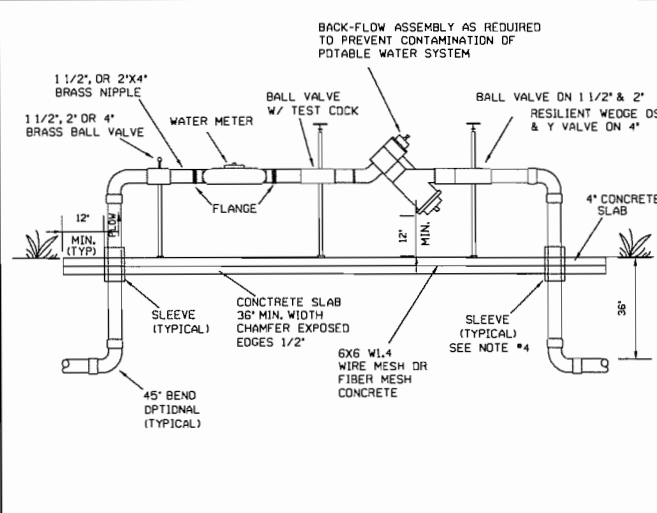
DEREK M. CIL, PE 54798



- NOTES:
- THRUST BLOCKS SHALL BE POURED AGAINST UNOBTURBED SOIL.
 - IN UNSTABLE MATERIALS, FOR VERTICAL BENDS OR OFFSETS, BLOCKING SHALL BE DESIGNED FOR ACTUAL THRUST USING THE FORMULA $P = 125(H)(A) \sin 1/2 \Delta$ WHERE $H = 1/2$ RATED HEAD, $A =$ AREA OF PIPE IN SQ. FT., $\Delta =$ ANGLE, AND $P =$ THRUST IN POUNDS.
 - BEFORE POURING, PLUGS SHALL BE WRAPPED WITH VISQUEEN AND A BOARD IN FRONT.
 - CONCRETE SHALL BE 2500 PSI.
 - THRUST BLOCKS SHOWN ALSO APPLY SANITARY FORCE MAINS.
 - DESIGN ENGINEER TO LIST SIZES OF THRUST BLOCKS.

ITEM	CROSS REF.	SPEC. REF.

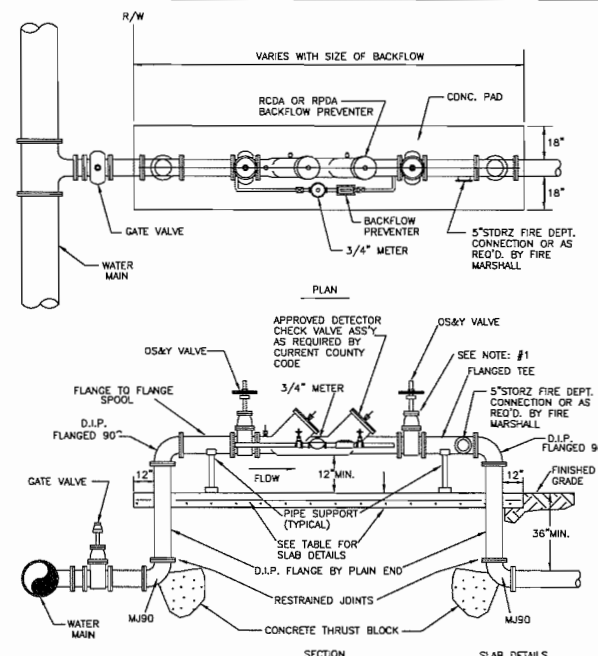
CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES DATE 9-1-90	REVISED RBC 3-18-97 ITEM 12-21-99	MINIMUM STANDARD DETAIL THRUST BLOCKS	PAGE WS 3
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- NOTES:
- BOTTOM OF BACKFLOW DEVICE, IF REQUIRED, MUST BE 12" ABOVE FINISHED GRADE.
 - BACKFLOW ASSEMBLY MUST BE INSTALLED DOWNSTREAM OF METER, AS CLOSE TO METER AS POSSIBLE.
 - COPPER PIPE TYPE "L" OR "K" OR BRASS PIPE MINIMUM SCHEDULE 40 SHALL BE USED TO A MINIMUM DEPTH OF 36" BELOW GRADE.
 - PIPES PASSING THROUGH OR ENCASED IN CONCRETE MUST BE PROPERLY PROTECTED AND SLEEVED.
 - THE SYSTEM MUST MEET ALL REQUIREMENTS OF THE CITY OF PALMETTO PLUMBING CODE (LATEST EDITION) AND THE CITY OF PALMETTO BACKFLOW PREVENTION CODE (LATEST EDITION).
 - METER, LOCK PACKS, METER COUPLINGS AND BRASS NIPPLES FURNISHED BY COP.

ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY DATE 04-12-00	REVISED ITEM 04-12-00 ITEM 05-23-00	MINIMUM STANDARD DETAIL 1 1/2", 2" & 4" METER & BACKFLOW PREVENTER ABOVE GROUND DETAIL	PAGE WS 12
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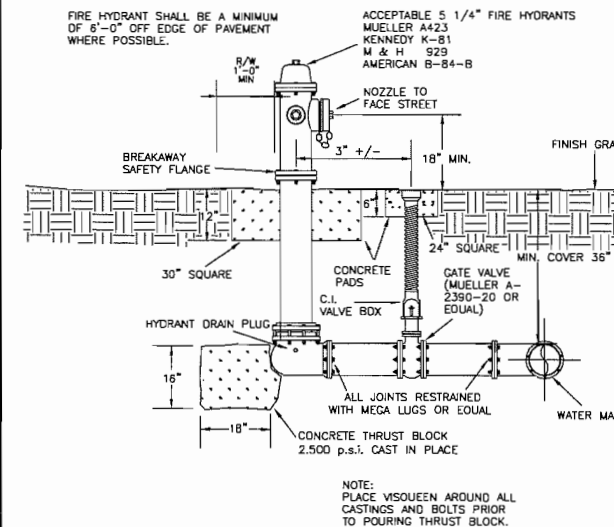


- NOTES:
- WHEN PRESSURE TESTING FIRE LINE, TEST AGAINST DOWNSTREAM GATE VALVE.
 - THE SYSTEM MUST MEET ALL REQUIREMENTS OF THE CITY OF PALMETTO PLUMBING CODE (LATEST EDITION) AND THE CITY OF PALMETTO BACKFLOW PREVENTION CODE (LATEST EDITION), AND THE NORTH RIVER FIRE MARSHALL REQUIREMENTS.
 - PAIN BACKFLOW ASSEMBLY RED.
 - ALL EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER.
 - ALL JOINTS ABOVE GROUND MUST BE FLANGED.

PIPE DIAMETER	SLAB THICKNESS	REINFORCEMENT
3" TO 10"	4"	6# W4 WIRE MESH
12" TO 18"	4"	6# W3 WIRE MESH

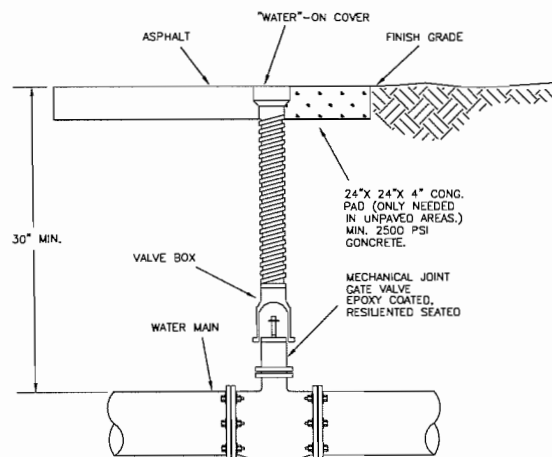
ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY DATE 06-02-00	REVISED ITEM 11-20-00	MINIMUM STANDARD DETAIL 3" AND ABOVE FIRE LINES BACKFLOW PREVENTER	PAGE WS 13
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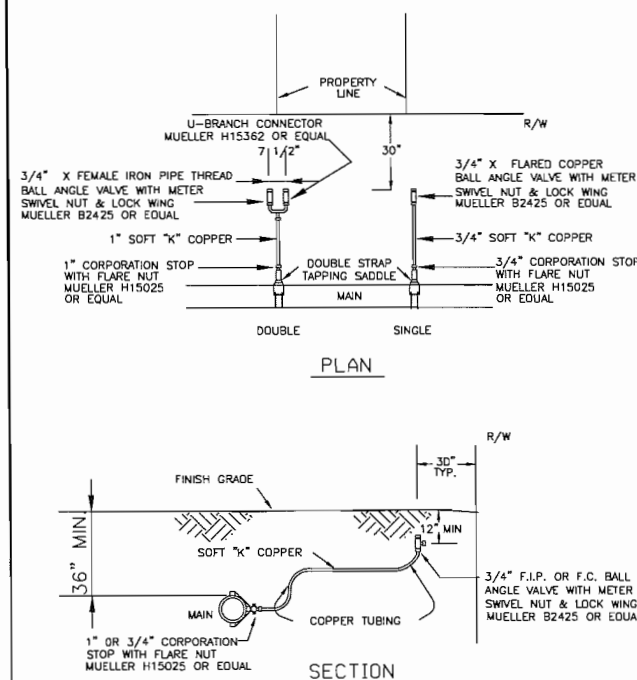
ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES DATE 9-1-90	REVISED LCH 9-28-95 RBC 3-18-97 ITEM 12-21-99	MINIMUM STANDARD DETAIL TYPICAL FIRE HYDRANT	PAGE WS 2
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ITEM	CROSS REF.	SPEC. REF.

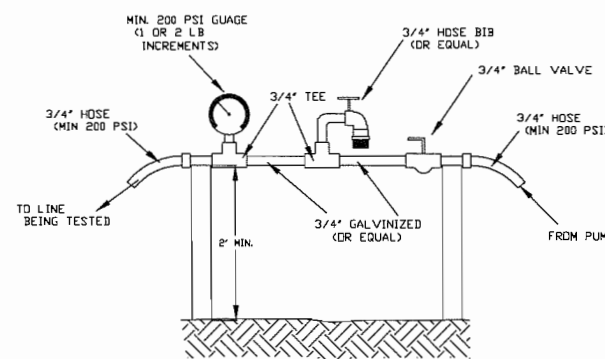
CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES DATE 9-1-90	REVISED RBC 3-18-97 ITEM 12-21-99	MINIMUM STANDARD DETAIL WATER VALVE	PAGE WS 1
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- NOTE:
- CITY SHALL FURNISH AND INSTALL METER.
 - NEW SUBDIVISIONS-CONTRACTORS ARE TO FURNISH CDR METER BOX FOR METER HOUSING. U.S. FILTER - SINGLE-WA00-111B-12C DOUBLE-WA00-1517-12C

ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY RFM & RES DATE 9-1-90	REVISED RBC 11-02-99 RBC 11-24-99 ITEM 12-21-99 ITEM 04-27-00	MINIMUM STANDARD DETAIL WATER SERVICE	
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- NOTE:
- TEST TO RUN MINIMUM OF 2 HOURS @ 150 PSI. FAILURE POINT .5 LB LOSS

ITEM	CROSS REF.	SPEC. REF.

CITY OF PALMETTO ENGINEERING DEPARTMENT	DRAWN BY DATE 05-22-02	REVISED	MINIMUM STANDARD DETAIL PRESSURE TEST SETUP	PAGE WS 15
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CONTRACTOR SHALL VERIFY ALL THE
CONNECTIONS AND JOINTS AT THE
JOB SITE AND NOTIFY THE
ARCHITECT OF ANY DIMENSIONAL
DISCREPANCIES BEFORE BEGINNING
OR FABRICATING ANY WORK. DO NOT
SCALE THESE DRAWINGS.

DEREK M. GIL, PE 54798

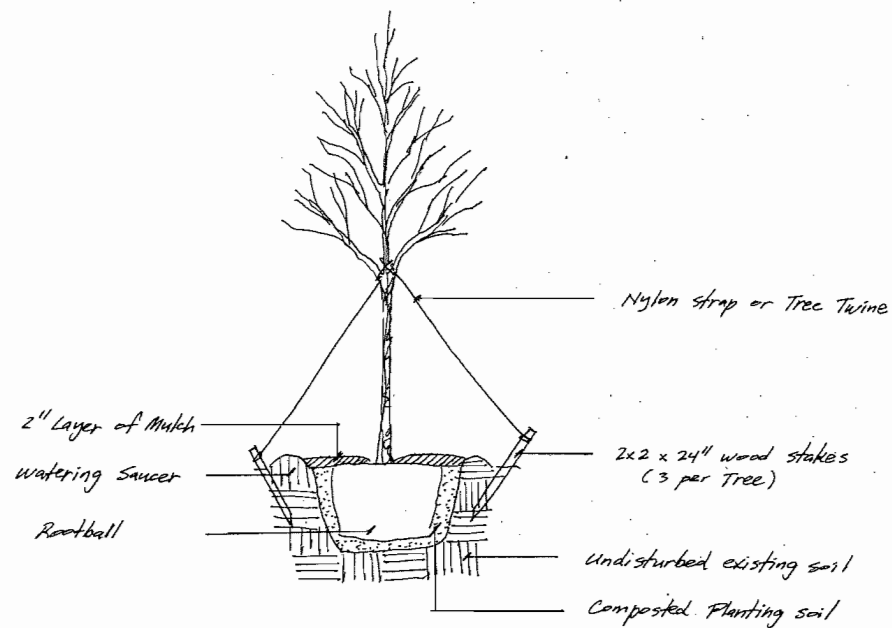
NEW FREESTANDING BUILDING
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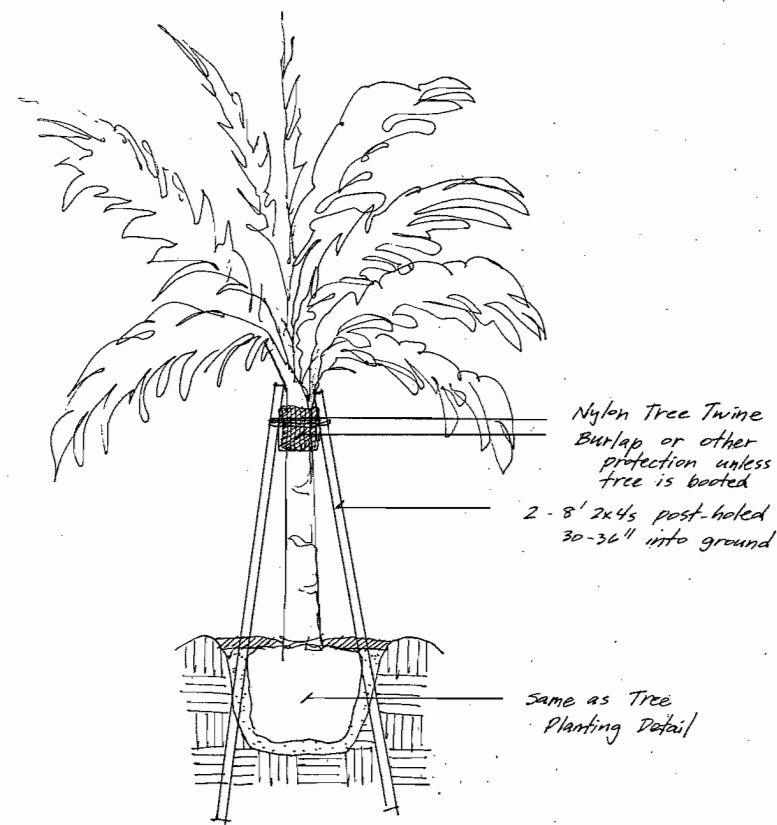
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UTILITY
DETAILS

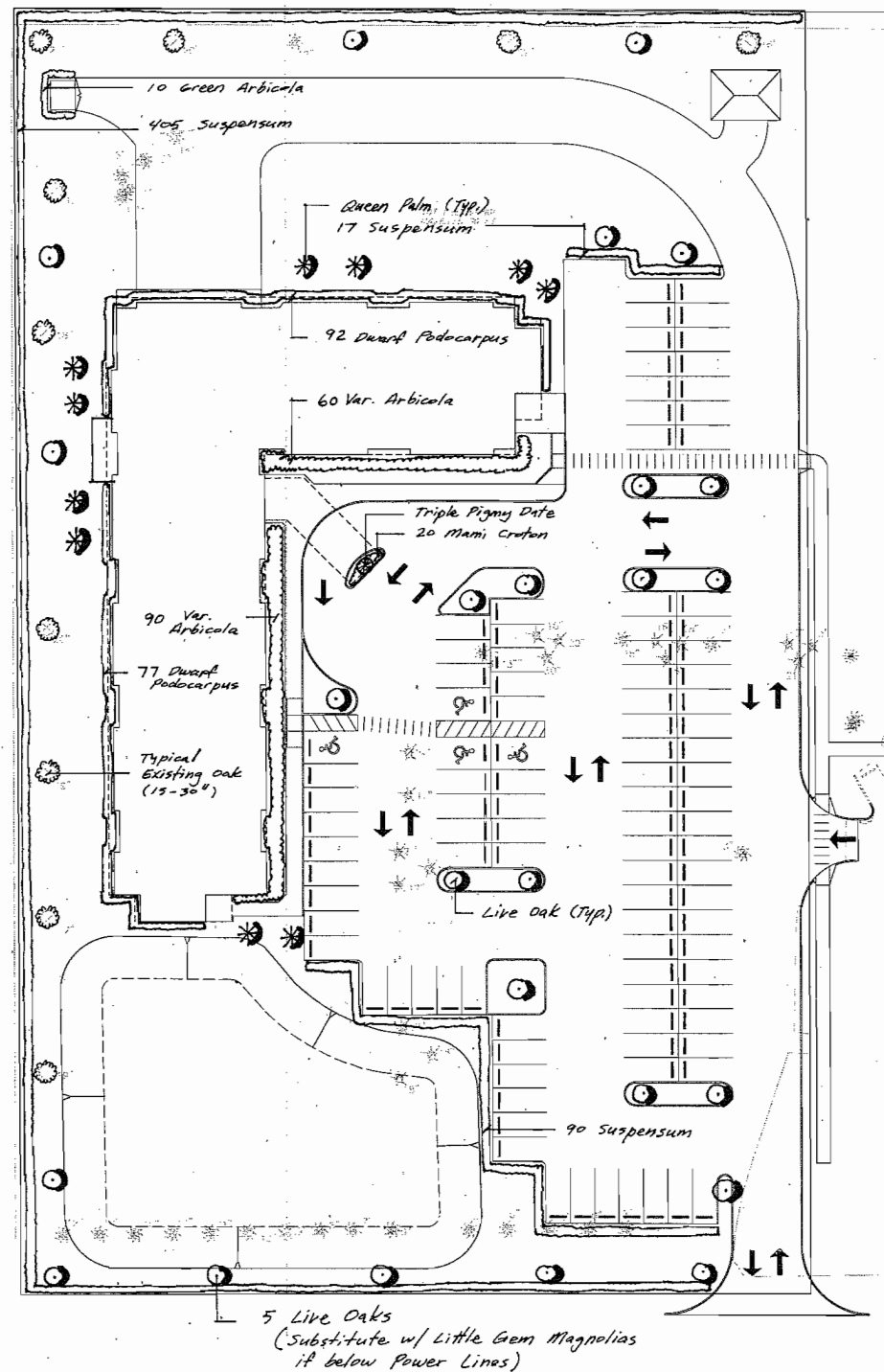
SHEET
C8.4



TREE PLANTING DETAIL
No Scale



PALM STAKING DETAIL
No Scale

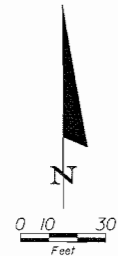


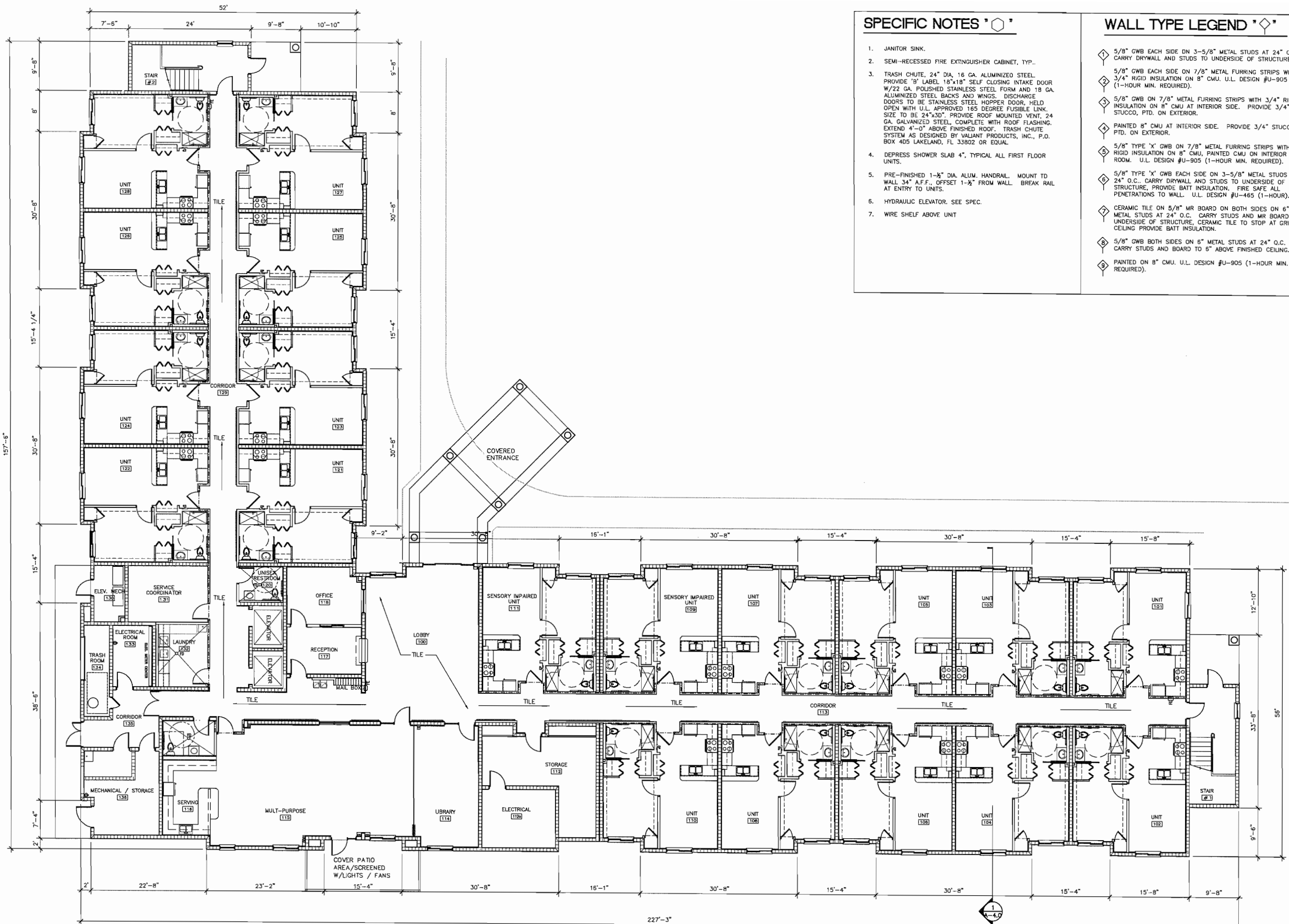
LEGEND / PLANT SCHEDULE

- 10 Existing Live Oak 15-30"
- 25 Live Oak 10' x 4' x 2"
- 10 Queen Palm 12-14' OA.
- 1 Triple Pigmy Date 5-6' x 6'
- 10 Green Arbutus #3 24" @ 3' o.c.
- 512 Viburnum Suspensum #3 24" @ 30" o.c.
- 169 Dwarf Podocarpus #3 14-18" @ 30" o.c.
- 20 Mami Croton #3 14-18" @ 30" o.c.
- 150 Var. Arbutus #3 18-24" @ 3' o.c.

LANDSCAPE NOTES

- All plant material shall be Fln. #1 Grade or better.
- All beds and planting areas to receive 2" layer of recycled mulch.
- Sod shall be Argentine bahia @ entire site and all disturbed areas.
- 2 Canopy Trees and 40 shrubs are required for buffers per 100'; quantities may not be exact - use spacing per plant schedule.
- Landscape Architect shall be notified in the event of conflict with existing trees or conditions to make any changes.
- Any changes or substitutions must be approved by the Landscape Architect and comply with Local Codes.
- Trees to be planted 5' away from curbs and pavement wherever possible.





1 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

SPECIFIC NOTES

- JANITOR SINK.
- SEMI-RECESSED FIRE EXTINGUISHER CABINET, TYP.
- TRASH CHUTE, 24" DIA, 16 GA. ALUMINIZED STEEL. PROVIDE "B" LABEL 18"x18" SELF CLOSING INTAKE DOOR W/22 GA. POLISHED STAINLESS STEEL FORM AND 18 GA. ALUMINIZED STEEL BACKS AND WINGS. DISCHARGE DOORS TO BE STAINLESS STEEL HOPPER DOOR, HELD OPEN WITH U.L. APPROVED 165 DEGREE FUSIBLE LINK, SIZE TO BE 24"x30". PROVIDE ROOF MOUNTED VENT, 24 GA. GALVANIZED STEEL, COMPLETE WITH ROOF FLASHING. EXTEND 4'-0" ABOVE FINISHED ROOF. TRASH CHUTE SYSTEM AS DESIGNED BY VALIANT PRODUCTS, INC., P.O. BOX 405 LAKELAND, FL 33802 OR EQUAL.
- DEPRESS SHOWER SLAB 4", TYPICAL ALL FIRST FLOOR UNITS.
- PRE-FINISHED 1-1/2" DIA. ALUM. HANDRAIL. MOUNT TO WALL 34" A.F.F., OFFSET 1-1/2" FROM WALL. BREAK RAIL AT ENTRY TO UNITS.
- HYDRAULIC ELEVATOR. SEE SPEC.
- WIRE SHELF ABOVE UNIT

WALL TYPE LEGEND

- 5/8" GWB EACH SIDE ON 3-5/8" METAL STUDS AT 24" O.C. CARRY DRYWALL AND STUDS TO UNDERSIDE OF STRUCTURE.
- 5/8" GWB EACH SIDE ON 7/8" METAL FURRING STRIPS WITH 3/4" RIGID INSULATION ON 8" CMU. U.L. DESIGN #U-905 (1-HOUR MIN. REQUIRED).
- 5/8" GWB ON 7/8" METAL FURRING STRIPS WITH 3/4" RIGID INSULATION ON 8" CMU AT INTERIOR SIDE. PROVIDE 3/4" STUCCO, PTD. ON EXTERIOR.
- PAINTED 8" CMU AT INTERIOR SIDE. PROVIDE 3/4" STUCCO, PTD. ON EXTERIOR.
- 5/8" TYPE "X" GWB ON 7/8" METAL FURRING STRIPS WITH 3/4" RIGID INSULATION ON 8" CMU, PAINTED CMU ON INTERIOR OF ROOM. U.L. DESIGN #U-905 (1-HOUR MIN. REQUIRED).
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- 5/8" GWB BOTH SIDES ON 6" METAL STUDS AT 24" O.C. CARRY STUDS AND BOARD TO 6" ABOVE FINISHED CEILING.
- PAINTED ON 8" CMU. U.L. DESIGN #U-905 (1-HOUR MIN. REQUIRED).

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AA 000379
5005 WEST LAUREL STREET SUITE 215
TAMPA
FLORIDA
813-281-0411

CONTRACTOR SHALL VERIFY ALL
DIMENSIONS AND CONDITIONS AT
PROJECT SITE. IF ANY DISCREPANCY
OR OMISSION IS FOUND, THE
CONTRACTOR SHALL NOTIFY THE
ARCHITECT IMMEDIATELY. NO
DIMENSIONS OR CONDITIONS SHALL
BE DEPENDENT ON ANY OTHER
DRAWINGS. DO NOT SCALE THESE
DIMENSIONS.

ENRIQUE A. WOODROFFE, F.A.A.
FLORIDA LICENSE AR 0007703

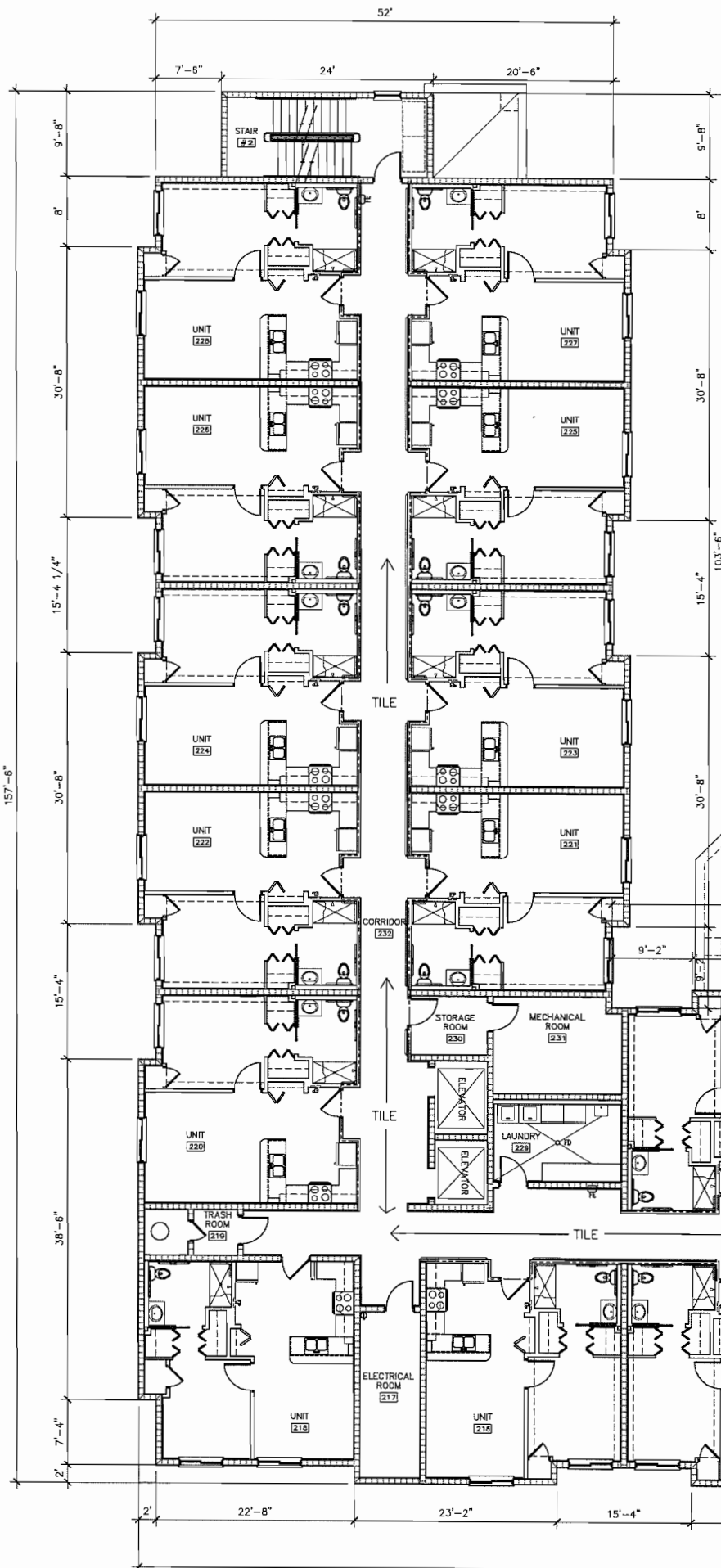
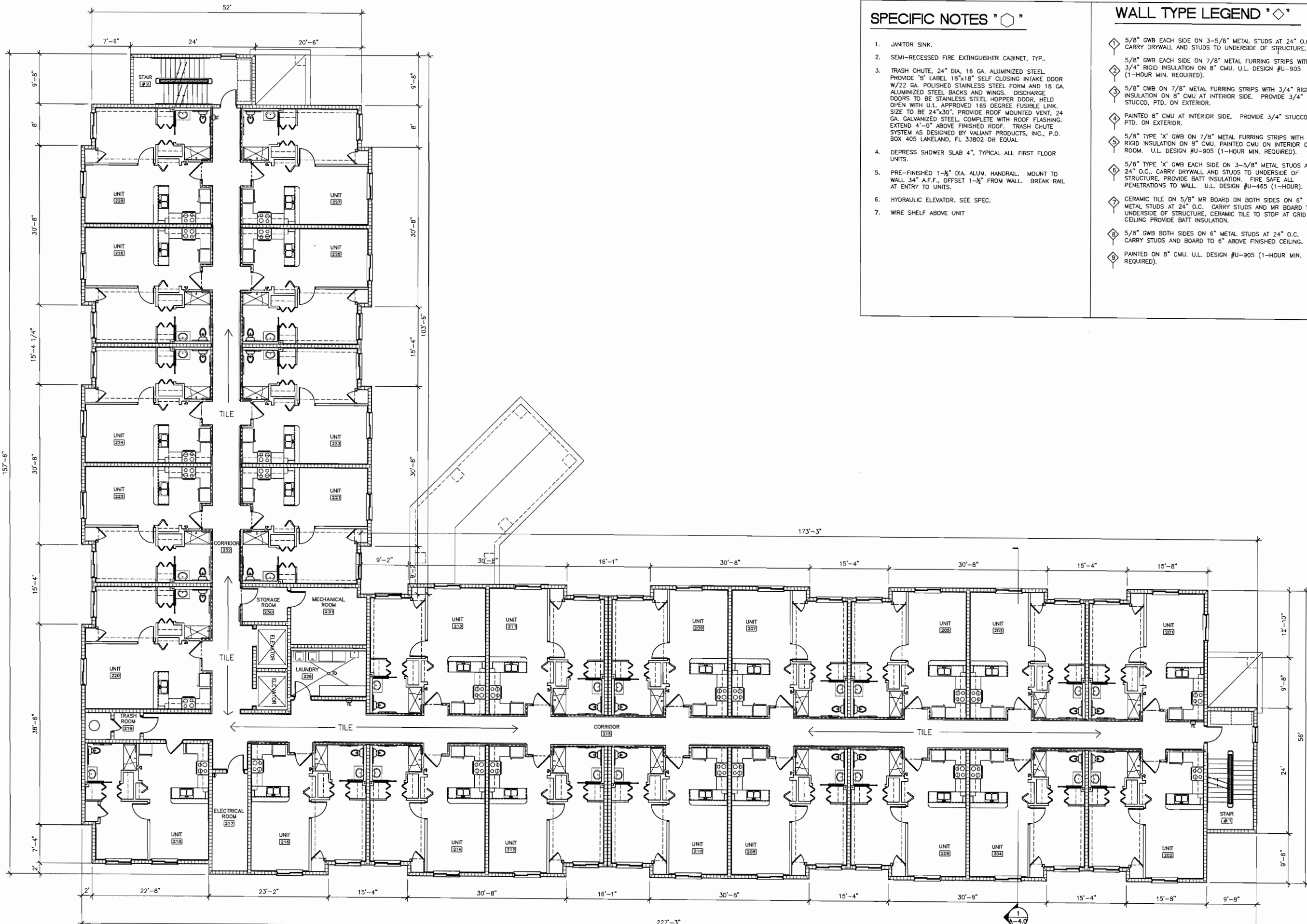
DIOCESE OF VENICE
HOLY CROSS MANOR
50 WEST 26TH STREET
PALMETTO, FLORIDA

DATE:
03-04-08
PROJECT:
0804
REVISIONS:

SHEET
CONTENTS
FIRST FLOOR
PLAN

SHEET
A1.0

0706 DD SET, NOT FOR CONSTRUCTION



- SPECIFIC NOTES**
- JANITOR SINK.
 - SEMI-RECESSED FIRE EXTINGUISHER CABINET, TYP.
 - TRASH CHUTE, 24" DIA, 16 GA. ALUMINIZED STEEL. PROVIDE "B" LABEL 18"x18" SELF CLOSING INTAKE DOOR W/22 GA. POLISHED STAINLESS STEEL FORM AND 16 GA. ALUMINIZED STEEL BACKS AND WINGS. DISCHARGE DOORS TO BE STAINLESS STEEL HOPPER DOOR, HELD OPEN WITH U.L. APPROVED 185 DEGREE FUSIBLE LINK, SIZE TO BE 24"x30". PROVIDE ROOF MOUNTED VENT, 24 GA. GALVANIZED STEEL, COMPLETE WITH ROOF FLASHING. EXTEND 4'-0" ABOVE FINISHED ROOF. TRASH CHUTE SYSTEM AS DESIGNED BY VALIANT PRODUCTS, INC., P.O. BOX 405 LAKELAND, FL 33802 OR EQUAL.
 - DEPRESS SHOWER SLAB 4", TYPICAL ALL FIRST FLOOR UNITS.
 - PRE-FINISHED 1-1/2" DIA. ALUM. HANDRAIL. MOUNT TO WALL 34" A.F.F., OFFSET 1-1/2" FROM WALL. BREAK RAIL AT ENTRY TO UNITS.
 - HYDRAULIC ELEVATOR. SEE SPEC.
 - WIRE SHELF ABOVE UNIT

- WALL TYPE LEGEND**
- 5/8" GWB EACH SIDE ON 3-5/8" METAL STUDS AT 24" O.C. CARRY DRYWALL AND STUDS TO UNDERSIDE OF STRUCTURE.
 - 5/8" GWB EACH SIDE ON 7/8" METAL FURRING STRIPS WITH 3/4" RIGID INSULATION ON 8" CMU. U.L. DESIGN #U-905 (1-HOUR MIN. REQUIRED).
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 - 5/8" GWB BOTH SIDES ON 6" METAL STUDS AT 24" O.C. CARRY STUDS AND BOARD TO 6" ABOVE FINISHED CEILING.
 - PAINTED ON 8" CMU. U.L. DESIGN #U-905 (1-HOUR MIN. REQUIRED).

1 SECOND FLOOR
SCALE: 1/8" = 1'-0"

WOODRUFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AA 0001379
5005 WEST LAUREL STREET, SUITE 215
TAMPA, FLORIDA 33607
813-281-0411

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ENRIQUE A. WOODRUFFE, F.A.A.
FLORIDA LICENSE AR 0007703

DIocese of Venice
HOLY CROSS MANOR
510 WEST 26TH STREET
PALMETTO, FLORIDA

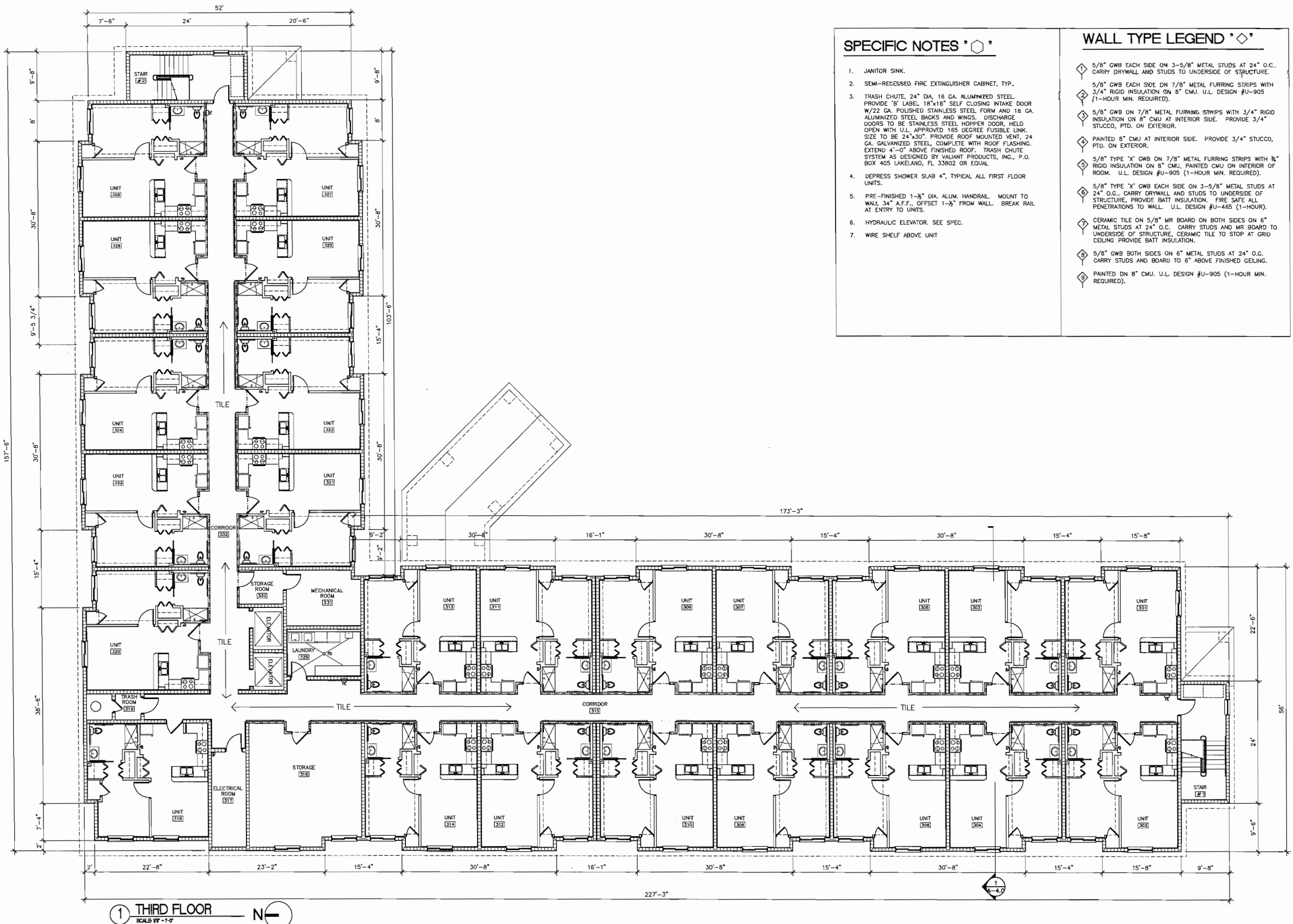
DATE: 03-04-09
PROJECT: 0804
REVISIONS:

SHEET CONTENTS

SECOND FLOOR PLAN

SHEET A1.1

1706 DD SET, NOT FOR CONSTRUCTION



SPECIFIC NOTES "◇"

1. JANITOR SINK.
2. SEMI-RECESSED FIRE EXTINGUISHER CABINET, TYP.
3. TRASH CHUTE, 24" DIA, 16 GA. ALUMINIZED STEEL. PROVIDE "B" LABEL 18"x18" SELF CLOSING INTAKE DOOR W/22 GA. POLISHED STAINLESS STEEL FORM AND 18 GA. ALUMINIZED STEEL BACKS AND WINGS. DISCHARGE DOORS TO BE STAINLESS STEEL HOPPER DOOR, HELD OPEN WITH U.L. APPROVED 165 DEGREE FUSIBLE LINK. SIZE TO BE 24"x30". PROVIDE ROOF MOUNTED VENT, 24 GA. GALVANIZED STEEL, COMPLETE WITH ROOF FLASHING. EXTEND 4'-0" ABOVE FINISHED ROOF. TRASH CHUTE SYSTEM AS DESIGNED BY VALIANT PRODUCTS, INC., P.O. BOX 405 LAKELAND, FL 33802 OR EQUAL.
4. DEPRESS SHOWER SLAB 4", TYPICAL ALL FIRST FLOOR UNITS.
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6. HYDRAULIC ELEVATOR. SEE SPEC.
7. WIRE SHELF ABOVE UNIT

WALL TYPE LEGEND "◇"

1. 5/8" GWB EACH SIDE ON 3-5/8" METAL STUDS AT 24" O.C. CARRY DRYWALL AND STUDS TO UNDERSIDE OF STRUCTURE.
2. 5/8" GWB EACH SIDE ON 7/8" METAL FURRING STRIPS WITH 3/4" RIGID INSULATION ON 8" CMU. U.L. DESIGN #U-905 (1-HOUR MIN. REQUIRED).
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4. PAINTED 8" CMU AT INTERIOR SIDE. PROVIDE 3/4" STUCCO, PTD. ON EXTERIOR.
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9. PAINTED ON 8" CMU. U.L. DESIGN #U-905 (1-HOUR MIN. REQUIRED).

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FLORIDA LICENSE NUMBER AA-0001379
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FLORIDA LICENSE #0007703

DIOCESE OF VENICE
HOLY CROSS MANOR
510 WEST 26TH STREET
PALMETTO, FLORIDA

DATE:
03-04-09
PROJECT:
0804
REVISIONS:

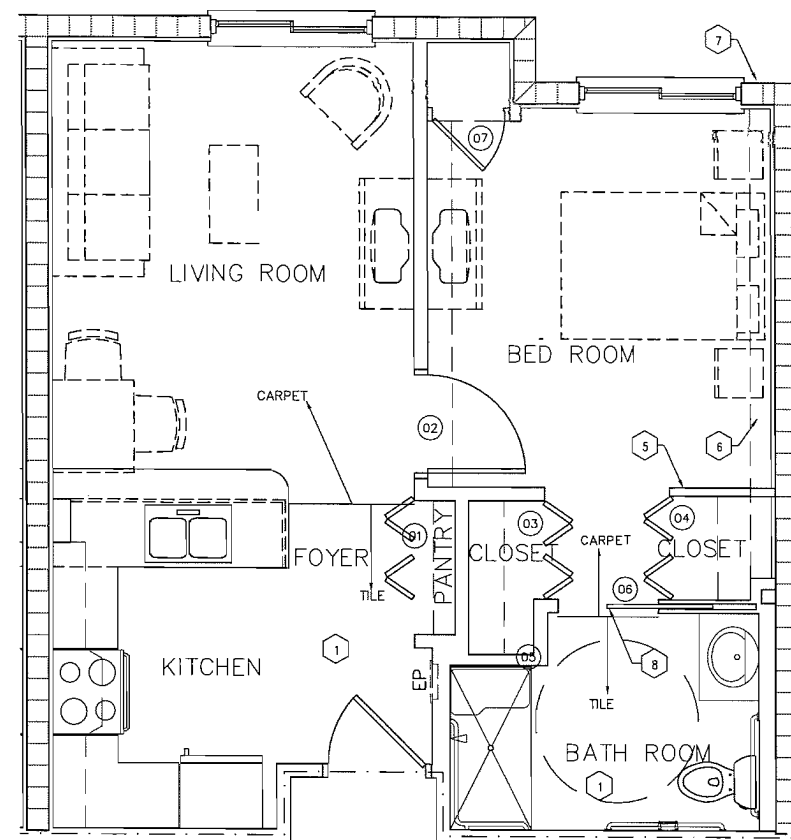
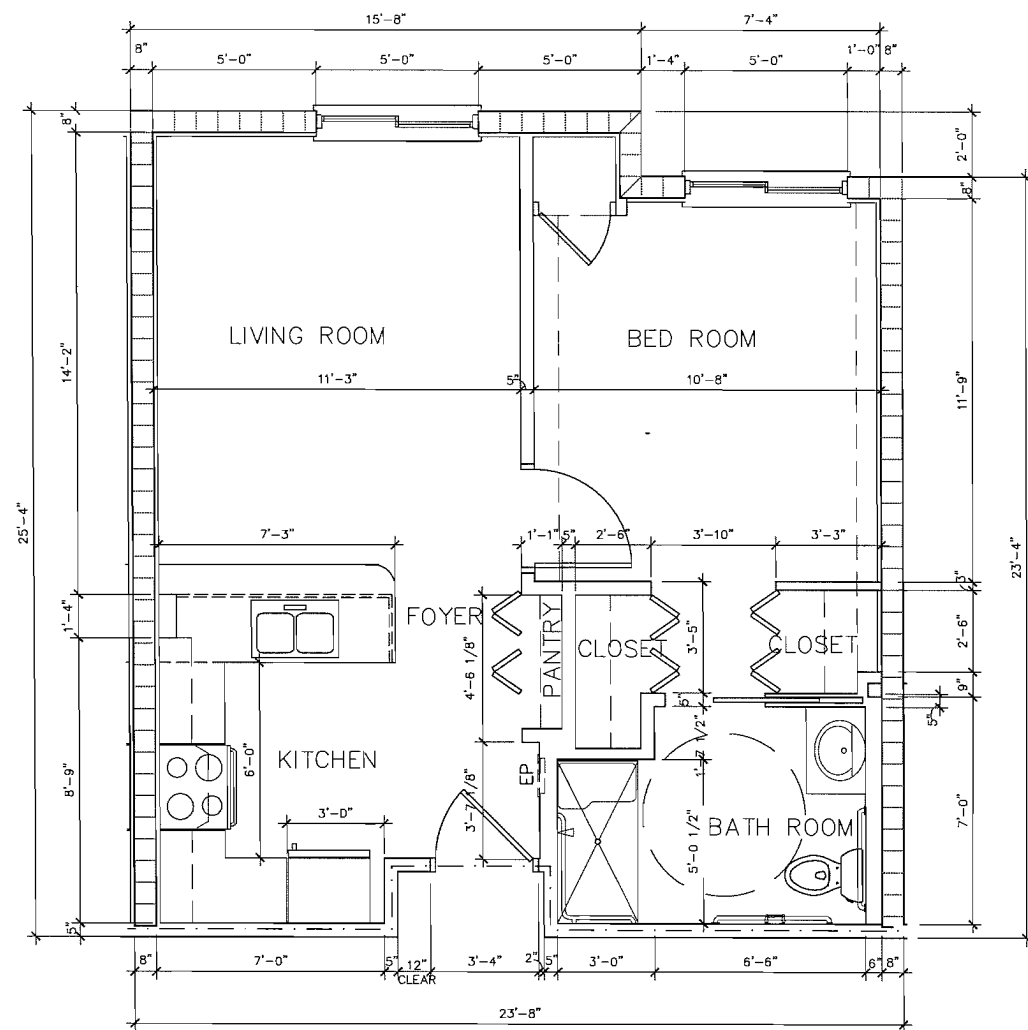
SHEET
CONTENTS

THIRD FLOOR
PLAN

SHEET

A1.2

0706 DD SET, NOT FOR CONSTRUCTION





1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AA 0001379
5005 WEST LAUREL STREET SUITE 215
TAMPA FLORIDA 33607
813-281-0411

CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT
OF ANY DISCREPANCIES OR
DISCREPANCIES OR DISCREPANCIES
BEFORE BEGINNING OR FABRICATING
ANY WORK. DO NOT SCALE THESE
DRAWINGS.

ENRIQUE A. WOODROFFE, P.A.
FLORIDA LICENSE AR 000703

DIOCESE OF VENICE
HOLY CROSS MANOR
510 WEST 26TH STREET
PALMETTO, FLORIDA

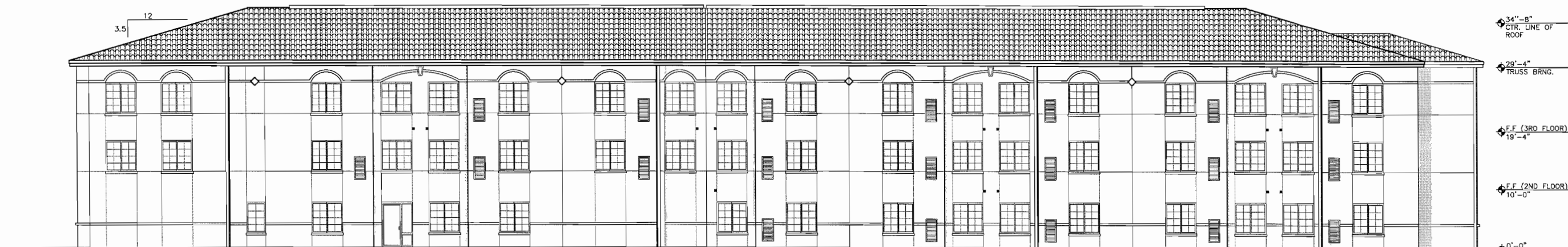
DATE:
03-04-09
PROJECT:
0804
REVISIONS:

SHEET
CONTENTS

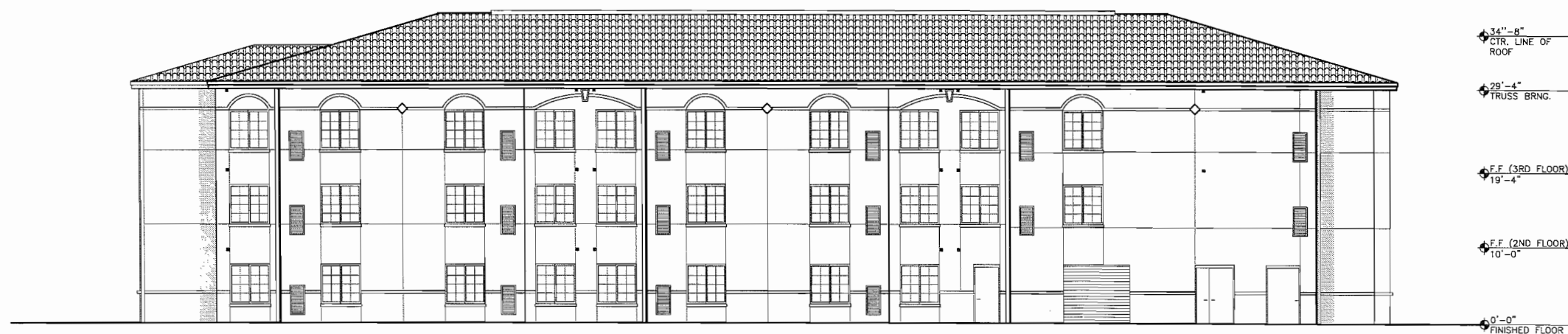
ELEVATIONS

SHEET
A2.0

06 DD SET, NOT FOR CONSTRUCTION



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AA C001378
5005 WEST LAUREL STREET SUITE 215
TAMPA FLORIDA
813-281-0411 33607

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ENRIQUE A. WOODROFFE, P.A.
FLORIDA LICENSE AR 000703

DIOCESE OF VENICE
HOLY CROSS MANOR
510 WEST 26TH STREET
PALMETTO, FLORIDA

DATE:
03-04-09
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0804
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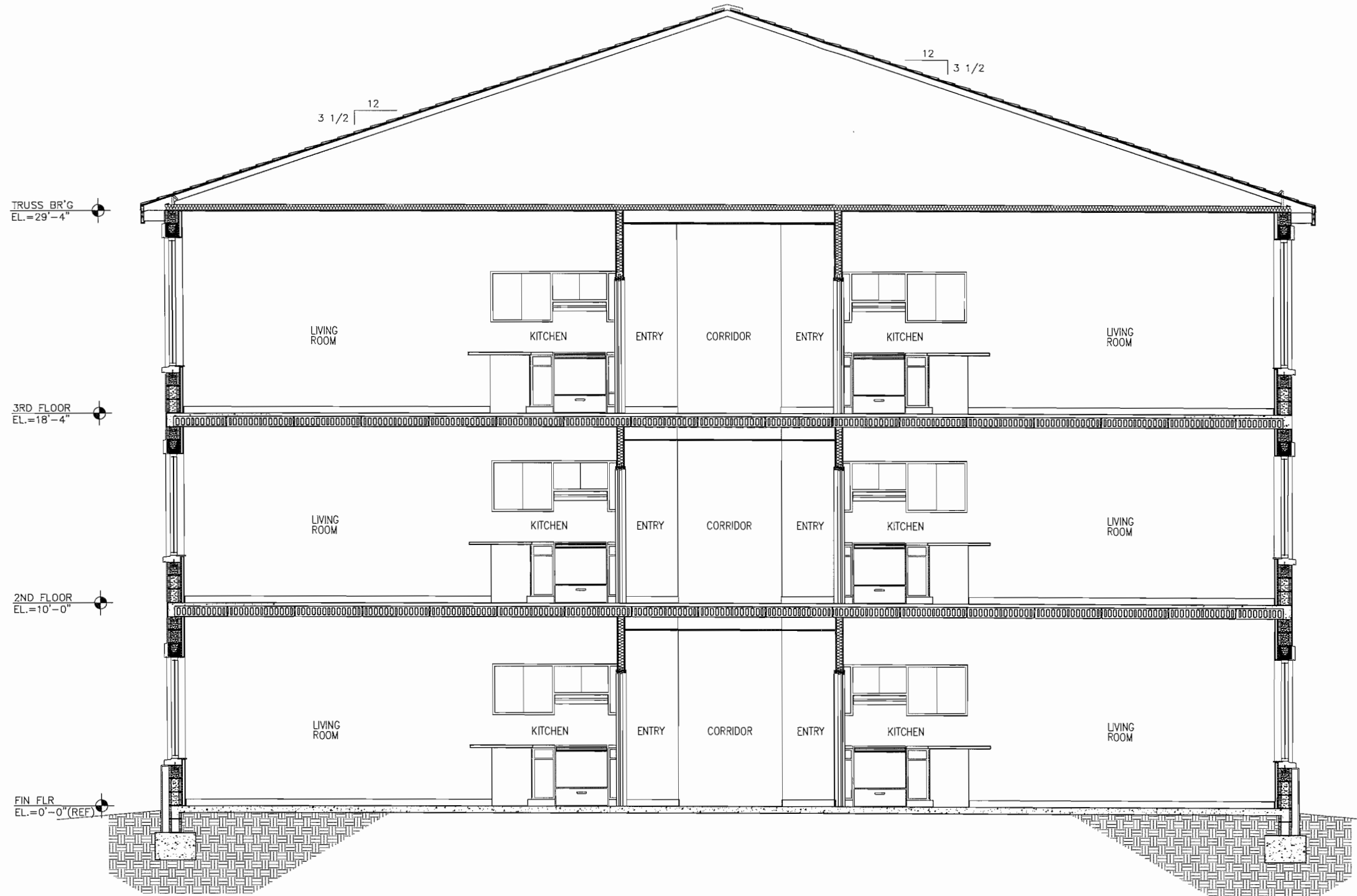
SHEET
CONTENTS

ELEVATIONS

SHEET

A2.1

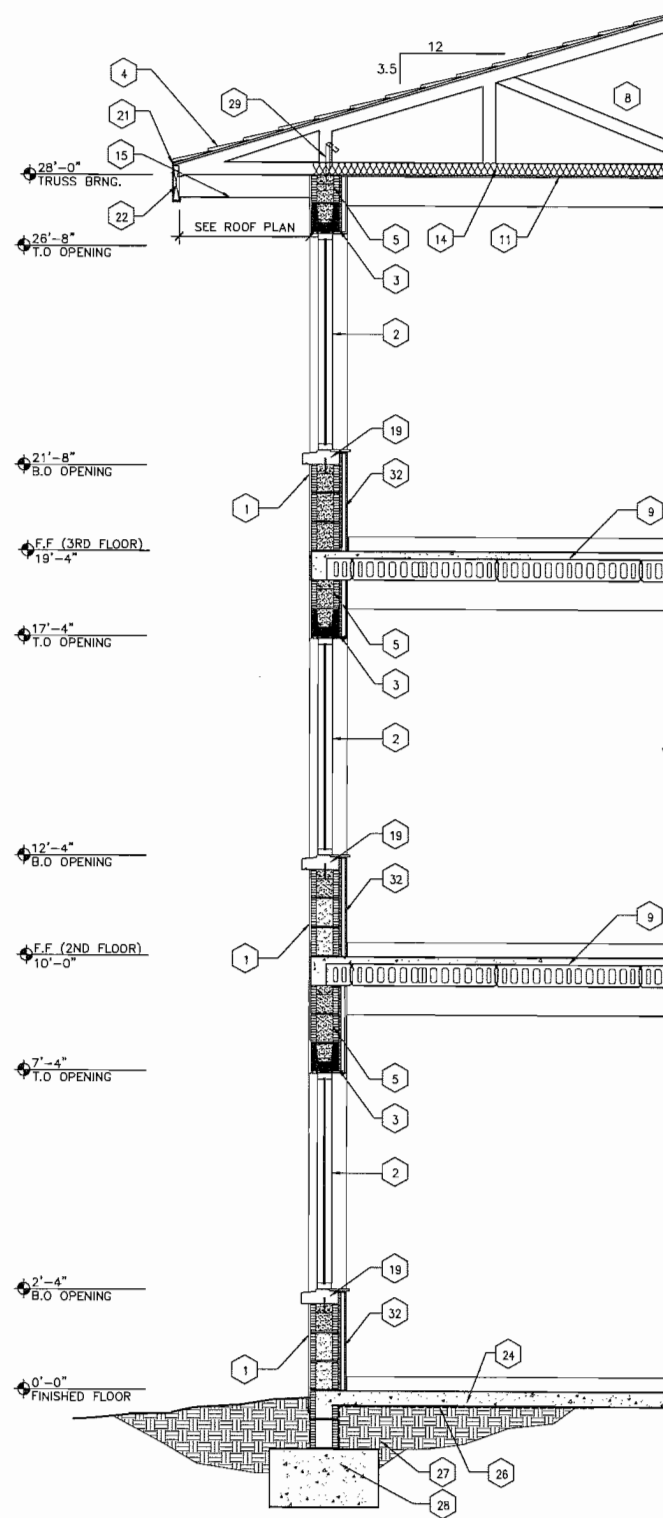
06 DD SET, NOT FOR CONSTRUCTION



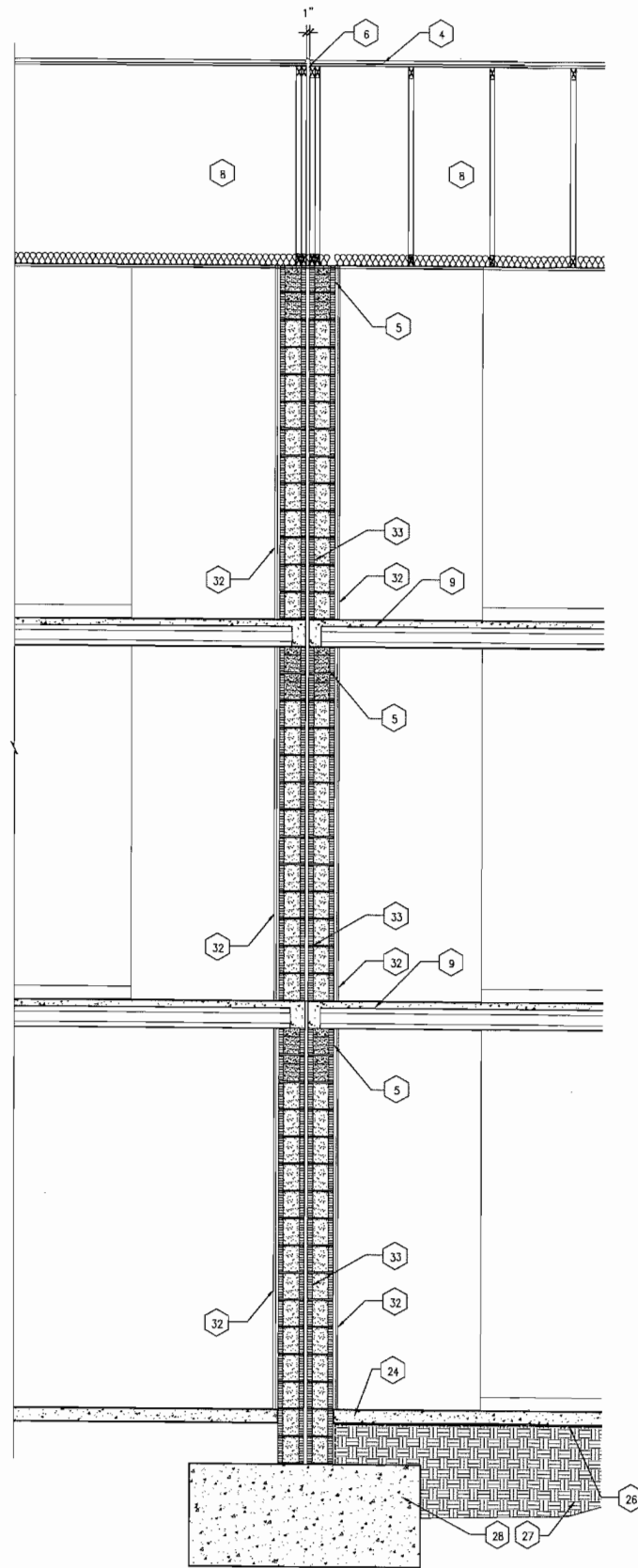
1 TYPICAL BUILDING SECTION
SCALE: 3/8" = 1'-0"

WOODROFFE CORPORATION ARCHITECTS FLORIDA LICENSE NUMBER AA 0001379 5005 WEST LAUREL STREET SUITE 215 TAMPA, FLORIDA 33607 813-281-0411	
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK. DO NOT SCALE THESE DRAWINGS.	
ENRIQUE A. WOODROFFE, P.E. FLORIDA LICENSE AR 0307703	
DIOCESE OF VENICE HOLY CROSS MANOR 510 WEST 26TH STREET PALMETTO, FLORIDA	
DATE: 03-04-09 PROJECT: 0804 REVISIONS:	
SHEET CONTENTS SECTION	
SHEET A4.0	

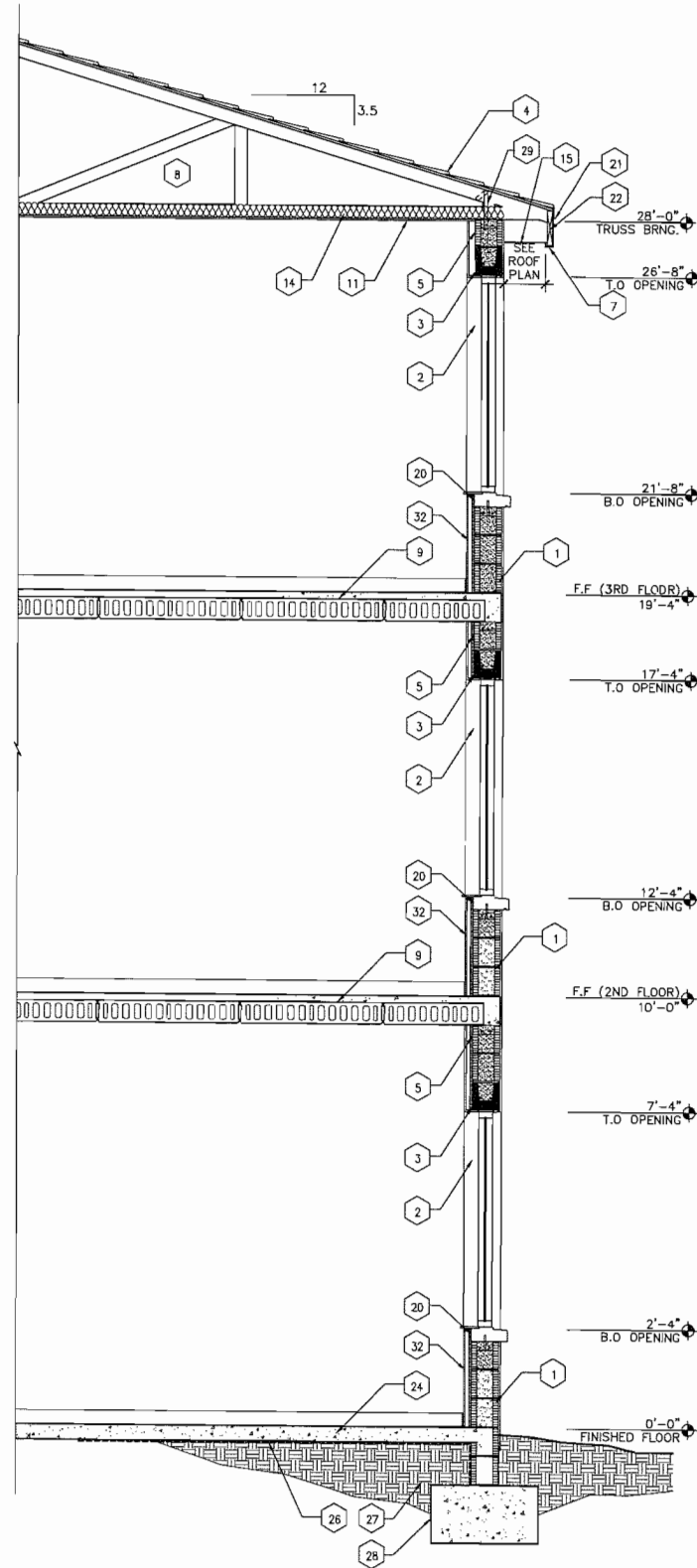
706 DD SET, NOT FOR CONSTRUCTION



1 WALL SECTION
SCALE 1/2" = 1'-0"



2 WALL SECTION
SCALE 1/2" = 1'-0"



3 WALL SECTION
SCALE 1/2" = 1'-0"

SPECIFIC NOTES " " "

NOTE: NOT ALL NOTES ARE PERTAIN TO THIS SHEET

- MASONRY WALL W/ 1/2" STUCCO (2-COATS) EXTERIOR FINISH.
- ALUMINUM WINDOWS.
- PRE-CAST CONCRETE LINTEL, SEE STRUCTURAL DRAWINGS.
- ASPHALT SHINGLES OVER 2 LAYERS OF 15# FELT ON 5/8" EXTERIOR GRADE PLYWOOD.
- CONTINUOUS BOND BEAM (2 COURSES) W/ REBAR REINFORCING, SEE STRUCTURAL DRAWINGS.
- EXPANSION JOINT.
- METAL FASCIA, PAINTED.
- PRE-ENGINEERED WOOD TRUSSES, SEE STRUCTURAL DRAWINGS.
- PRE-CAST CONCRETE HOLLOWCORE SLAB W/ 2" THICK CONCRETE TOPPING, PAINTED UNDERSIDE.
- 2' X 2' LAY-IN ACOUSTICAL CEILING TILE AND GRID SYSTEM.
- 5/8" DRYWALL CEILING ON PRE-ENGINEERED WOOD TRUSS BOTTOM CHORD.
- 5/8" GYP. BD. EACH SIDE ON 3 5/8" METAL STUDS @ 16" O.C., EXTEND TO STRUCTURE ABOVE.
- 5/8" GYP. BD. ON METAL FURRING W/ 3/4" RIGID INSULATION AND BITUMINOUS DAMPROOFING ON INTERIOR FACE OF MASONRY.
- R-19 INSULATION.
- METAL SOFFIT W/ 4" CONTINUOUS PERFORATED VENT.
- VINYL BASE.
- WOOD BASE.
- SOLID CORE WOOD DOORS W/ HOLLOW METAL FRAME (GROUT FILLED), PAINTED.
- HOLLOW CORE WOOD DOORS W/ WOOD FRAME AND WOOD TRIM, PAINTED.
- PRE-CAST CONC. WINDOW SILL.
- CONTINUOUS 3" METAL DRIP EDGE, PAINTED.
- CONTINUOUS 2 X 10 FASCIA BOARD.
- CONTINUOUS CONC. BAND BEAM, SEE STRUCTURAL DRAWINGS.
- 4" THICK CONC. SLAB ON GRADE.
- BOND BREAK BETWEEN WALL AND SLAB.
- 6 MIL. VISQUEEN VAPOR BARRIER.
- TREATED, COMPACTED FILL.
- WALL FOOTING, SEE STRUCTURAL DRAWINGS.
- TRUSS TIE, SEE STRUCTURAL DRAWINGS.
- CONTINUOUS BOND BEAM AT WINDOW SILL W/ REBAR REINFORCING, SEE STRUCTURAL DRAWINGS.
- WINDOW SILL AND TRIM.
- 5/8" GYP. BD. ON 3/4" METAL FURRING CHANNELS.
- DOUBLE 8" MASONRY WALL W/ 1" EXPANSION JOINT.

WOODROFFE CORPORATION
ARCHITECTS
FLORIDA LICENSE NUMBER AA 0001379

5005 WEST LAUREL STREET SUITE 215
TAMPA
FLORIDA
813-281-0411

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ENRIQUE A. WOODROFFE, F.A.S.
FLORIDA LICENSE AR 000703

DIOCESE OF VENICE
HOLY CROSS MANOR
510 WEST 26TH STREET
PALMETTO, FLORIDA

DATE:
03-04-06

PROJECT:
0804
REVISIONS:

SHEET
CONTENTS

WALL
SECTIONS

SHEET

A4.1



**Staff Report
Holy Cross Manor II
520 W 26th Street
General Development Plan
04-403-GDP-II**

OWNER/GENERAL LOCATION/PARCEL SIZE:

Owner: Holy Cross Manor II / Diocese of Venice
Location: 520 W 26th Street
Parcel Size: 4.01± Acres
PID #: 2421900154

EXISTING LAND USE/ZONING CATEGORY:

Future Land Use: PD (Planned Development)
Zoning: PD-H (Planned Development Housing)

SURROUNDING PROPERTY ZONING DISTRICT(S)/USES:

FUTURE LAND USE

North: (Single-Family Residential) (Manatee County)
South: PD (Planned Development)
East: PDH (Planned Development-Housing)
West: PD (Single-Family Residential) (Manatee County)

ZONING

North: Manatee County (Leisure Lake)
South: RM-5 (Church Use)
East: PDH (Planned Development-Housing) (Holy Cross Manor I)
West: Manatee County (Leisure Lake)

SUMMARY:

The PDH zoning designation is a site plan specific category. Any changes in land use approval require the approval of a new conceptual/general plan. The zoning is not proposed to change with this application. The current use is for vacant. The DRC has met with the applicant and his agent to discuss the proposal to expand the Holy Cross Manor with the addition of 68 units in a three-story residential structure. Please note that the application is for a HUD-sponsored, low-income elderly housing facility.

The PDH zoning designation is a site plan specific category. Any changes in land use approval require the approval of a conceptual/general plan. The zoning is not proposed to change with this application. The current use is for a vacant. The City's DRC has met with the applicant and his agent to discuss the proposal to expand the existing Holy Cross Manor.

The new Site Plan consists of 68 one-bedroom units, located within an "L" shaped, 3-story building. The plan includes 99 additional parking spaces and a retention area located in the southwest portion of the site. The Site Plan also illustrates both a small maintenance building and a dumpster located in the north portion of the site.

STAFF RECOMMENDATION:

The staff recommends **APPROVAL** of this request. There are no waivers or modifications requested. This application provides for a low-income housing for at least 68 elderly people who are in need of this type of housing.

Because this application is time sensitive in order to meet HUD application deadlines, the DRC is continuing to work with the applicant and his representatives to bring the plan into compliance with all City and Fire District requirements. We will continue to do so throughout the Site Plan and Construction Plan processes.

STIPULATIONS:

The Site Plan must comply with all applicable City Code and North River Fire District (NRFD) requirements.

PLANNING AND ZONING BOARD RECOMMENDATION:

The Planning and Zoning Board recommended **UNANIMOUS APPROVAL WITH STIPULATION** the general development plan 04-403 GDP-II. The stipulation is as stated: The project site must be a minimum of 4.01 acres as illustrated on survey. (To meet density requirements)

DETAILED ANALYSIS:

ATTAINABLE HOUSING

The application is for a HUD-sponsored, low-income elderly housing facility.

COMPREHENSIVE PLAN ANALYSIS

Potable water, sanitary sewer, and parks and recreation levels of service are satisfied with this request. Below is a synopsis of the impacts to roads, drainage, and reclaimed water infrastructure related elements of the Comprehensive Plan:

2.0 TRANSPORTATION ELEMENT

Level of Service

Policy 2.1.1: The level of service standard for collector and arterial roadways in the City shall be LOS "D", peak hour.

A traffic impact statement has been submitted by the project engineer determining the impact is de minimus and does not result in any degradation in roadway level of service.

4.0 SANITARY SEWER

Reclaimed Water Use

Policy 4.3.1: Require the use of reclaimed water to irrigate recreational, agricultural and future development.

The site is currently served with City reclaimed water for irrigation.

Policy 4.3.4: Require the construction of an on-site distribution system for the transmission of reclaimed water in all new and future development projects.

The site is currently served with City reclaimed water for irrigation.

6.0 STORMWATER MANAGEMENT

Surface Water

Objective 6.3: To ensure that the quality of surface water within the City is maintained and, where unacceptable, improved.

- Appropriate on-site retention or detention in accordance with adopted local and state regulations including filtration, infiltration, establishment of littoral zones in wetland areas and the use of grassy areas for filtration;

- Protection of wetlands and environmentally sensitive areas; and
- Management and protection of the quantity, timing and quality of water releases and discharges.

Prior to the approval of a final development plan, the applicant shall provide a letter from SWFWMD regarding the approval of a reduction regarding retention requirements.

7.0 POTABLE WATER

Maximize Existing Facilities

Objective 7.2: The City shall require that existing and new development maximizes the use of existing potable water facilities.

The site is served with City water.

Policy 7.2.1: The City shall require the use of low-volume plumbing fixtures for all new construction in accordance with the requirements of the most recently adopted Standard Plumbing Code.

The site is served with City water.

Policy 7.2.2: The City shall continue to encourage the use of Xeriscape in all landscaping projects.

Landscaping will incorporate Xeriscaping.

Policy 7.2.3: Where lines are available, the City shall require new development and redevelopment to connect to the reclaimed water system.

The site is currently served with City reclaimed water for irrigation.

Policy 7.3.1: Require the use of reclaimed water to irrigate recreational, agricultural and future development.

The site is currently served with City reclaimed water for irrigation.

Policy 7.3.4: Require the construction of an on-site distribution system for the transmission of reclaimed water in all new and future development projects.

The site is currently served with City reclaimed water for irrigation.



ZONING

