

TAB 6

Staff Report
Boys & Girls Club of Manatee County
Palmetto Branch
1650 10th Street West
Construction/Final Site Plan
Project File # (09-595)

OWNER/GENERAL LOCATION/PARCEL SIZE:

Owner: City of Palmetto
Contract Purchaser: Boy's & Girl's Club of Manatee County
Location: 1650 10th Street West
Parcel Size: 2.0 acres +/-
PID #: 2804600001

EXISTING LAND USE/ZONING CATEGORY:

Future Land Use: PU (Public Use)
Zoning: P (Public)

SURROUNDING PROPERTY ZONING DISTRICT(S)/USES:

Future Land Use

North: RES-6 (Residential - 6 units per acre)
South: RES-6 (Residential - 6 units per acre)
East: PF (Public Facility); PU (Public Use)
West: RES-6 (Residential - 6 units per acre)

Zoning

North: RS-3 (Residential - 3 units per acre)
South: RS-3 (Residential - 3 units per acre)
East: P (Public)
West: RS-3 (Residential - 3 units per acre)

SUMMARY:

The applicant is to permit the Boy's & Girl's Club of Manatee County to construct a new child care center on land to be purchased by the City adjacent to the relocated Palmetto Elementary School.

The P (Public) zoning designation is a zoning district where dimensional standards are reviewed by the City Commission. The zoning is not proposed to change with this application. The proposed use is for the construction of a new Boy's & Girl's Club facility, which must be relocated because of the construction of the new Elementary School. Staff has met with the applicant and his agent to discuss the proposal to build a new facility at this location.

The Plan submitted by the Boys & Girls Club of Manatee County proposes to construct a new child care center to meet the needs of an expanding population. The proposed building will be the primary structure for the project site and is 26,624 square feet; a proposed maintenance building is an accessory structure for the project site and is 2,400 square feet. The current use of the property is for parks and recreation with an existing Boys & Girls Club facility that is proposed for demolition to make space for the new elementary school on the site. After construction, the current uses will remain with the addition of an elementary school.

The proposed schedule for construction to commence is currently set for early June 2009 in cooperation with proposed construction of a new school. The School Board proposes to build two parking/drop-off – pick-up areas. One of the areas is proposed as a shared use with the Boys and Girls Club and will have 65 parking spaces and will be used as a bus drop-off/pick-up point and is located along the southern boundary between the proposed administration building and the new Boys and Girls Club community building. There will be a parking agreement between the two uses.

STAFF RECOMMENDATION:

Although this project does not require formal City Commission Site Plan, the City Code requires to be reviewed by the City Commission on a case-by-case basis or minimum dimensional requirements.

The Project was presented to and endorsed by the City of Palmetto Planning and Zoning Board on May 11, 2009.

The recommended motion is:

Based upon the City Comprehensive Plan and Zoning Code, I hereby move to approve the minimal dimensional requirements for the proposed Boys and Girls Clubs of Manatee County Palmetto Branch (09-595) as set forth on the Plans at the May 18, 2009 City Commission meeting with the following stipulations:

- 1.) The facility will be constructed generally in accordance with submitted Site Plan.
- 2.) Prior to commencement of construction, required Construction Drawings and Architectural Plans must be approved by the City. The applicant must demonstrate that stormwater permits have been issued by the Southwest Florida Water Management District.

DETAILED ANALYSIS:

ATTAINABLE HOUSING:

The Attainable Housing Ordinance is not applicable to a day care center.

COMPREHENSIVE PLAN ANALYSIS:

Potable water, sanitary sewer, and parks and recreation levels of service are satisfied with this request. Below is a synopsis of the impacts to roads, drainage, and reclaimed water infrastructure related elements of the Comprehensive plan:

2.0 TRANSPORTATION ELEMENT

Level of Service

Policy 2.1.1: The level of service standard for collector and arterial roadways in the City shall be LOS "D", peak hour.

A traffic impact statement was submitted by the project engineer determining the impact is de minimus and does not result in any degradation in roadway level of service.

4.0 SANITARY SEWER

Reclaimed Water Use

Policy 4.3.1: Require the use of reclaimed water to irrigate recreational, agricultural, and future development.

The site is currently served with city reclaimed water for irrigation.

Policy 4.3.4: Require the construction of an on-site distribution system for the transmission of reclaimed water in all new and future development projects.

The site is currently served with city reclaimed water for irrigation.

6.0 STORM WATER MANAGEMENT

Surface Water

Objective 6.3: To ensure that the quality of surface water within the City is maintained and, where unacceptable, improved.

- Appropriate on-site retention or detention in accordance with adopted local and state regulations including filtration, infiltration, establishment of littoral zones in wetland areas, and the use of grassy areas for filtration;

- Protection of wetlands and environmentally sensitive areas; and

- Management and protection of the quantity, timing and quality of water releases and discharges.

Prior to the approval of a final development plan, the applicant shall provide a letter from SWFWMD regarding the approval of a reduction regarding retention requirements.

7.0 POTABLE WATER
Maximize Existing Facilities

Objective 7.2: The City shall require that existing and new development maximizes the use of existing potable water facilities.

The site is served with City water.

Policy 7.2.1: The City shall require the use of low-volume plumbing fixtures for all new construction in accordance with the requirements of the most recently adopted Standard Plumbing Code.

The site is served with City water.

Policy 7.2.2: The City shall continue to encourage the use of xeriscape in all landscaping projects.

Landscaping will incorporate xeriscaping.

Policy 7.2.3: Where lines are available, the City shall require new development and redevelopment to connect to the reclaimed water system.

The site is currently served with city reclaimed water for irrigation.

Policy 7.3.1: Require the use of reclaimed water to irrigate recreational, agricultural, and future development.

The site is currently served with city reclaimed water for irrigation.

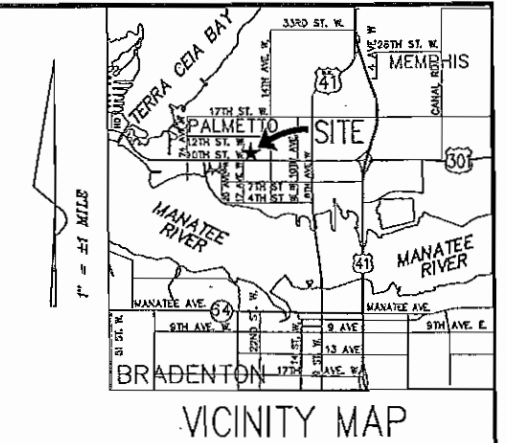
Policy 7.3.4: Require the construction of an on-site distribution system for the transmission of reclaimed water in all new and future development projects.

The site is currently served with city reclaimed water for irrigation.

4/21/2008 11:28:20 AM 0860
 C:\Users\mason\Documents\Projects\CLUBS\CLUBS.dwg
 7/21/2008 11:28:20 AM 0860
 Sheet Title: GPP COVER SHEET
 Job Number: 2870
 Sheet Number:
 File Number: 2870

INDEX

TITLE	SHEET
COVER SHEET	1
DEMOLITION & SEDIMENT CONTROL PLAN	2
GENERAL DEVELOPMENT PLAN/ENGINEERING PLAN	3
SITE AERIAL OVERLAY	4
GENERAL NOTES & SPECIFICATIONS	5
SECTIONS & DETAILS	6
WATER & SEWER DETAILS	7
LANDSCAPE PLAN	L-1
EXTERIOR ELEVATIONS (BUILDING)	A2.00



GENERAL DEVELOPMENT PLAN FOR BOYS & GIRLS CLUB—PALMETTO BRANCH

LOCATED IN
 SECTION 15, TOWNSHIP 34 SOUTH, RANGE 17 EAST
 1650 10TH STREET WEST
 CITY OF PALMETTO, FLORIDA, 34221
 EXISTING ZONING: P
 FUTURE LAND USE: RES 6
 PROPOSED USE: MUNICIPAL

NOTES:

1. THE SITE IS CURRENTLY ZONED P AND IS USED AS A COMMUNITY CENTER.
2. THE SUBJECT LAND LIES IN ZONES 'B' & 'C' OF THE FLOOD INSURANCE RATE MAP (FIRM), PANEL NUMBER 120159-0003-C, DATED 11/16/83.
3. THERE ARE NO KNOWN HISTORIC AREAS ON THIS SITE.
4. THERE ARE NO KNOWN WETLANDS ON THIS SITE.
5. SURVEY INFORMATION BASED ON A SURVEY BY: LEO MILLS & ASSOCIATES, INC.
6. INFRASTRUCTURE CONSTRUCTION WILL COMMENCE APRIL 2002 AND WILL BE COMPLETED APRIL 2004.
7. SOLID WASTE DISPOSAL WILL BE PROVIDED BY THE CITY OF PALMETTO VIA DUMPSTER SERVICE PICK-UP.
8. OPEN SPACE TO BE PRIVATELY MAINTAINED.
9. SANITARY SEWER AND POTABLE WATER WILL BE CONSTRUCTED TO CITY OF PALMETTO STANDARDS AND PRIVATELY MAINTAINED. SEE PALMETTO ELEMENTARY SCHOOL PLANS.

UTILITIES

BRIGHTHOUSE
 CONTACT: MEL TOM WRIGHT
 4597 15TH STREET EAST
 BRADENTON, FLORIDA 34203
 (841) 752-1540

VERIZON TELEPHONE OPERATIONS
 CONTACT: MR. LARRY BROOKS
 1701 ROMANO BOULEVARD
 SARASOTA, FLORIDA 34230
 (841) 723-1844

PEOPLES GAS SYSTEM, INC.
 CONTACT: MEL DANIEL PLATT
 SARASOTA, FLORIDA 34236
 (841) 565-4277

FLORIDA POWER & LIGHT
 CONTACT: MR. RAY VANLANDINGHAM
 1631 WHITEFIELD AVENUE
 SARASOTA, FLORIDA 34243
 (841) 739-3305

PALMETTO PUBLIC WORKS DEPT.
 CONTACT: MEL ALLEN TUSNOI
 800 17th STREET WEST
 PALMETTO, FLORIDA 34221
 (841) 723-4560

SITE DATA:


PROJECT AREA 2.00 AC.
BUILDING AREA 29,024 S.F.
 26,624 S.F.—COMMUNITY BUILDING
 2,400 S.F.—MAINTENANCE BUILDING
PROPOSED SETBACK 18.68' MIN.—COMMUNITY BUILDING
PROPOSED PARKING SHARED WITH PROPOSED PALMETTO ELEMENTARY
 10'—MAINTENANCE BUILDING
PROPOSED P.A.R. 0.93
PROPOSED BUILDING HEIGHT 25'-8" TO MIDPOINT OF ROOF
SETBACK, BUILDING HEIGHT, P.A.R., PARKING, & OPEN SPACE REQUIREMENTS ARE SUBJECT TO CITY COUNCIL APPROVAL.

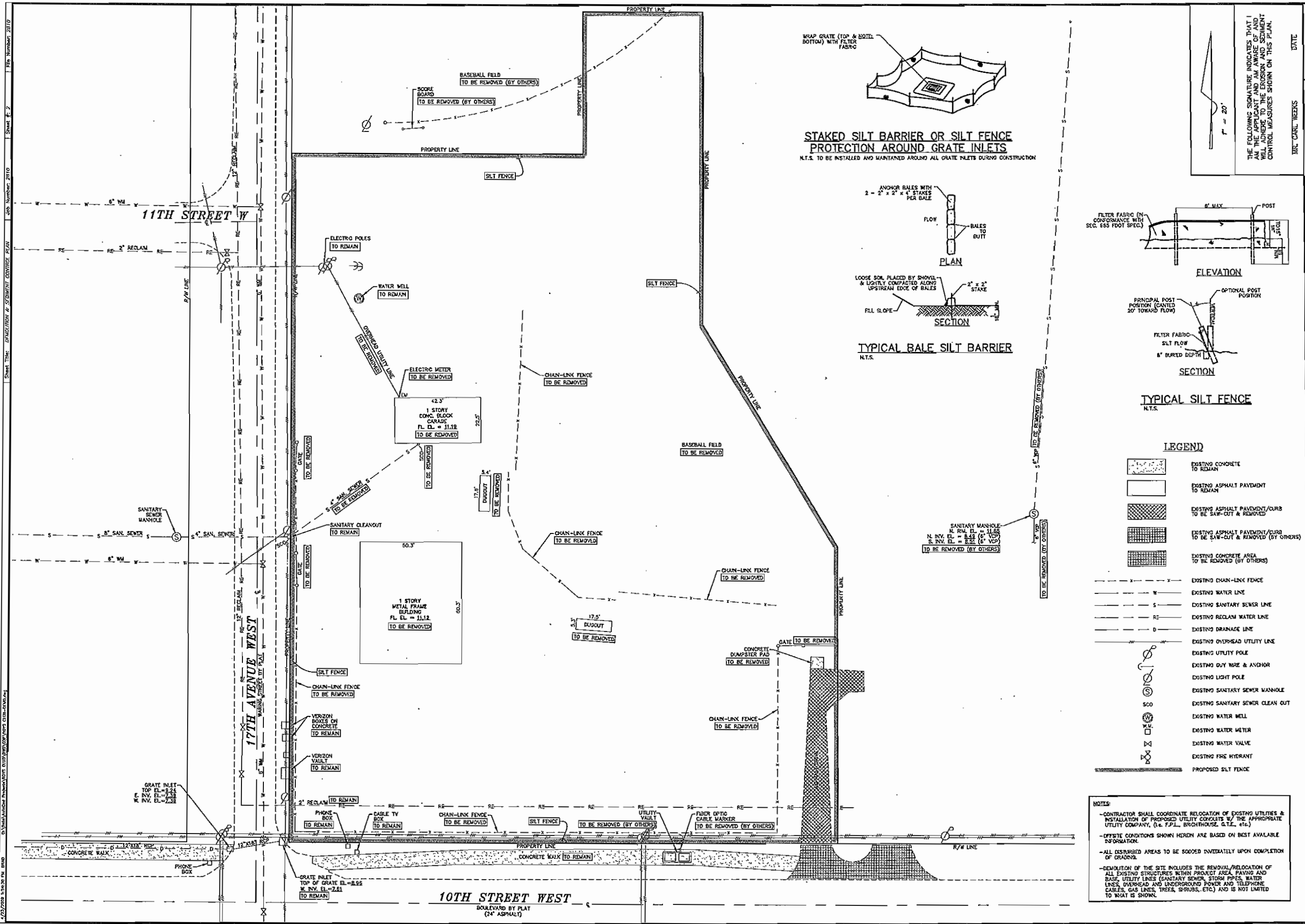
LEGAL DESCRIPTION

DESCRIPTION (BOYS CLUB LEASE PARCEL)
 ALL LANDS LYING IN LOTS 5, 6, 7, 8, 9, AND 10, BLOCK 7, AND THAT PORTION OF THE VACATED ALLEY BETWEEN THE SAID LOTS; BLOCKS 4, 5, AND 6, AND THE VACATED ALLEYS WITHIN SAID BLOCKS OF THE RE-PLAT OF JACKSON FACTORY SUBDIVISION, AS RECORDED IN PLAT BOOK 1, PAGE 317, OF THE PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THE VACATED 16TH AVENUE WEST FROM THE NORTH RIGHT-OF-WAY LINE OF 10TH STREET WEST TO THE SOUTH RIGHT-OF-WAY LINE OF 12TH STREET WEST; THE VACATED 11TH STREET WEST FROM THE EAST RIGHT-OF-WAY LINE OF 17TH AVENUE WEST TO THE WEST RIGHT-OF-WAY LINE OF THE VACATED 15TH AVENUE WEST; THE VACATED 15TH AVENUE DRIVE WEST FROM THE SOUTH RIGHT-OF-WAY LINE OF 11TH STREET WEST TO THE SOUTH RIGHT-OF-WAY LINE OF 12TH STREET WEST.
 ALL THE ABOVE LYING AND BEING IN SECTION 15, TOWNSHIP 34 SOUTH, RANGE 17 EAST, MANATEE COUNTY, FLORIDA.
 CONTAINING 8.82 ACRES, MORE OR LESS.

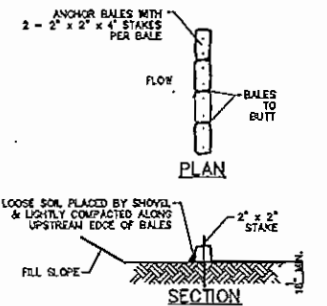
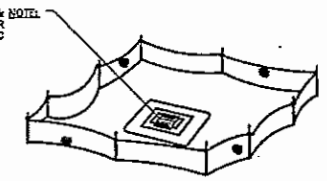
DRC MEMBER	OK	SIGNATURE	DATE
DEPUTY DIRECTOR OF OPERATIONS			
CITY PLANNER			
FIRE MARSHALL			
CITY ENGINEER			
DRC COORDINATOR			
STIPULATIONS		YES	
		NO	
DIRECTOR OF PUBLIC WORKS		SIGNATURE	DATE

PREPARED FOR:
 MR. CARL WEEKS
 EXECUTIVE DIRECTOR
 BOYS & GIRLS CLUBS OF MANATEE COUNTY
 6220 MANATEE AVENUE WEST, SUITE 201
 BRADENTON, FL 34206
 TEL: (941) 761-2582

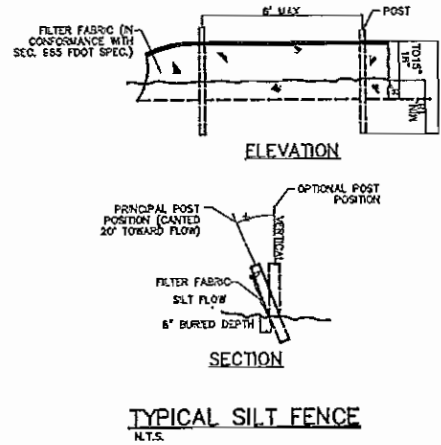
PREPARED BY:

 926 14TH ST. W.
 BRADENTON, FL 34205
 TEL: (941) 708-5400



STAKED SILT BARRIER OR SILT FENCE PROTECTION AROUND GRATE INLETS
 N.T.S. TO BE INSTALLED AND MAINTAINED AROUND ALL GRATE INLETS DURING CONSTRUCTION



TYPICAL BALE SILT BARRIER
 N.T.S.



TYPICAL SILT FENCE
 N.T.S.

LEGEND

[Symbol]	EXISTING CONCRETE TO REMAIN
[Symbol]	EXISTING ASPHALT PAVEMENT TO REMAIN
[Symbol]	EXISTING ASPHALT PAVEMENT/CURB TO BE SAW-CUT & REMOVED
[Symbol]	EXISTING ASPHALT PAVEMENT/CURB TO BE SAW-CUT & REMOVED (BY OTHERS)
[Symbol]	EXISTING CONCRETE AREA TO BE REMOVED (BY OTHERS)
[Symbol]	EXISTING CHAIN-LINK FENCE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER LINE
[Symbol]	EXISTING RECLAIM WATER LINE
[Symbol]	EXISTING DRAINAGE LINE
[Symbol]	EXISTING OVERHEAD UTILITY LINE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING GUY WIRE & ANCHOR
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SANITARY SEWER MANHOLE
[Symbol]	EXISTING SANITARY SEWER CLEAN OUT
[Symbol]	EXISTING WATER WELL
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED SILT FENCE

NOTES:

- CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES & INSTALLATION OF PROPOSED UTILITY CONDUITS W/ THE APPROPRIATE UTILITY COMPANY, (i.e. F.P.L., BRIGHTHOUSE, G.T.E., etc.)
- OFFSITE CONDITIONS SHOWN HEREIN ARE BASED ON BEST AVAILABLE INFORMATION.
- ALL DISBURSED AREAS TO BE SOODED IMMEDIATELY UPON COMPLETION OF GRADING.
- DEMOLITION OF THE SITE INCLUDES THE REMOVAL/RELOCATION OF ALL EXISTING STRUCTURES WITHIN PROJECT AREA, PAVING AND BASE UTILITY LINES (SANITARY SEWER, STORM PIPES, WATER LINES, OVERHEAD AND UNDERGROUND POWER AND TELEPHONE CABLES, GAS LINES, TREES, SHRUBS, ETC.) AND IS NOT LIMITED TO WHAT IS SHOWN.

THE FOLLOWING SIGNATURE INDICATES THAT I AM THE APPLICANT AND AM AWARE OF AND WILL ADHERE TO THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN.

DATE _____

APALLISON ENGINEERING

M. ANDREW ALLISON
 PE # 53960

BRC CARL WEEKS

DATE _____

DESIGNED BY: MAA
 DRAWN BY: BRC

FILE NO.: 2010-0001
 SCALE: 1" = 20'

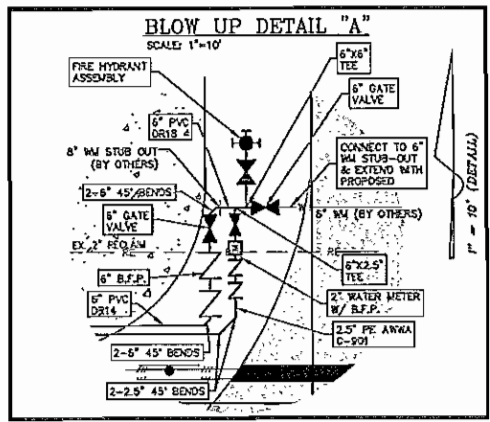
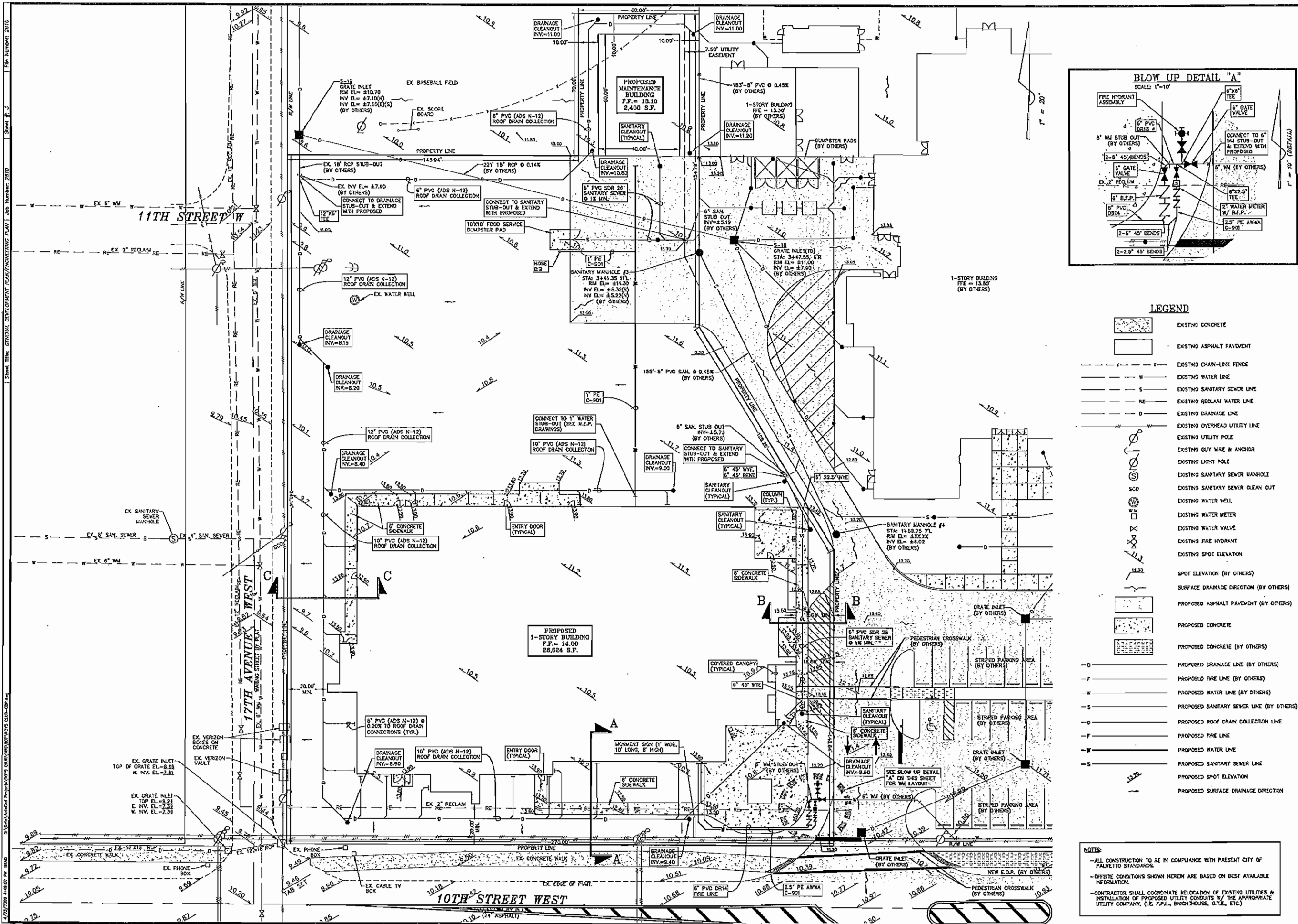
REVISIONS

1	REVISIONS	4/22/20
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	

DEMOLITION & SEDIMENT CONTROL PLAN

FOR
BOYS & GIRLS CLUB-PALMETTO BRANCH

LOCATED IN SECTION 15, TOWNSHIP 34 SOUTH, RANGE 17 EAST
 CITY OF PALMETTO, FLORIDA



- LEGEND**
- EXISTING CONCRETE
 - EXISTING ASPHALT PAVEMENT
 - EXISTING CHAIN-LINK FENCE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING RECLAM WATER LINE
 - EXISTING DRAINAGE LINE
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING UTILITY POLE
 - EXISTING GUY WIRE & ANCHOR
 - EXISTING LIGHT POLE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER CLEAN OUT
 - EXISTING WATER WELL
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING SPOT ELEVATION
 - SPOT ELEVATION (BY OTHERS)
 - SURFACE DRAINAGE DIRECTION (BY OTHERS)
 - PROPOSED ASPHALT PAVEMENT (BY OTHERS)
 - PROPOSED CONCRETE (BY OTHERS)
 - PROPOSED CONCRETE (BY OTHERS)
 - PROPOSED DRAINAGE LINE (BY OTHERS)
 - PROPOSED FIRE LINE (BY OTHERS)
 - PROPOSED WATER LINE (BY OTHERS)
 - PROPOSED SANITARY SEWER LINE (BY OTHERS)
 - PROPOSED ROOF DRAIN COLLECTION LINE
 - PROPOSED FIRE LINE
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED SPOT ELEVATION
 - PROPOSED SURFACE DRAINAGE DIRECTION

NOTES

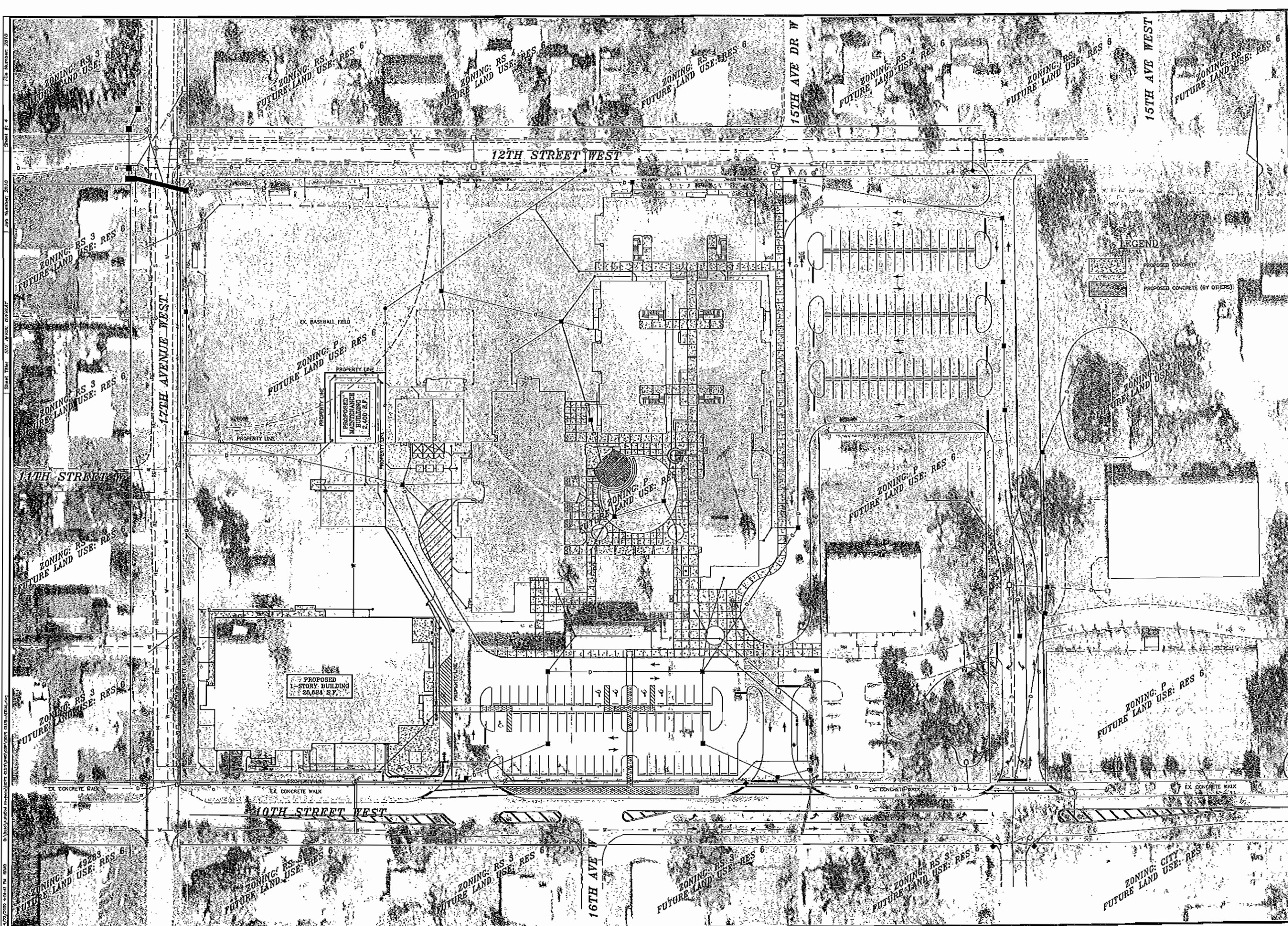
- ALL CONSTRUCTION TO BE IN COMPLIANCE WITH PRESENT CITY OF PALMETTO STANDARDS.
- OFFSITE CONDITIONS SHOWN HEREIN ARE BASED ON BEST AVAILABLE INFORMATION.
- CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES & INSTALLATION OF PROPOSED UTILITY CONSULTANTS BY THE APPROPRIATE UTILITY COMPANY, (I.E. F.P.L., BRIGHTHOUSE, G.Y.E., ETC.)

M. ANDREW ALLISON
P.E. # 53866

ALLISON ENGINEERING

GENERAL DEVELOPMENT PLAN/ENGINEERING PLAN
FOR
BOYS & GIRLS CLUB-PALMETTO BRANCH
LOCATED IN
SECTION 15, TOWNSHIP 34 SOUTH, RANGE 17 EAST
CITY OF PALMETTO, FLORIDA

SHEET 3



2/22/2009 8:36 AM D:\university\engineering\plans\city\palmetto\club\club.dwg
Sheet Title: SITE AERIAL OVERLAY
JOB NUMBER: 2010
SHEET #2

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

FOR
SITE AERIAL OVERLAY
BOYS & GIRLS CLUB—PALMETTO BRANCH
LOCATED IN
SECTION 15, TOWNSHIP 34 SOUTH, RANGE 17 EAST
CITY OF PALMETTO, FLORIDA

LEGEND

- PROPOSED CONCRETE
- PROPOSED CONCRETE (BY OTHERS)

M. ANDREW ALLISON
PE # 53866

DATE: 12/22/09
JOB NO.: 2010
FILE NO.: 11700-008
SCALE: 1" = 20'
DRAWN BY: [unintelligible]

GENERAL CONSTRUCTION NOTES

- 1. ALL PROPOSED CONSTRUCTION IS TO MEET OR EXCEED THE LATEST APPLICABLE CITY OF PALMETTO CONSTRUCTION STANDARDS AND SPECIFICATIONS. ALL PROPOSED CONSTRUCTION IS TO BE FINISHED, OWNED AND MAINTAINED FOLLOWING COMPLETION AND ACCEPTANCE.
2. THE CONTRACTOR IS TO COORDINATE THE LOCATION AND ELEVATION OF ALL FINAL OTE AND REGULATION SERVICE SLEEVES WITH RESPECTIVE AGENCY PRIOR TO CONSTRUCTION.
3. ALL PROPOSED ELECTRICAL AND COMMUNICATION SERVICES ARE TO BE LOCATED UNDERGROUND AS DIRECTED BY RESPECTIVE AGENCY.
4. CURBS AT SIDEWALK INTERSECTIONS TO BE RECESSED FOR PEDESTRIAN RAMPS. RAMPS TO BE CONSTRUCTED AT TIME OF CURB RADIUS.
5. CONTRACTOR TO OBTAIN APPLICABLE PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND ISSUANCE OF ALL COMMENCEMENT AND/OR PROGRESS NOTICES TO GOVERNMENTAL AGENCIES DURING THE COURSE OF CONSTRUCTION, AS REQUIRED FOR INSPECTION, TESTING AND TRACKING PER APPLICABLE AGENCY PERMIT CONDITIONS.
7. NOTIFY CITY OF PALMETTO PRIOR TO THE INITIATION OF CONSTRUCTION. A PRE CONSTRUCTION INSPECTION OF THE SEDIMENTATION AND EROSION CONTROL (SEEC) DEVICES MAY BE REQUIRED AND WILL BE THE OPTION OF THE CITY OF PALMETTO STAFF.
8. CONTRACTOR TO NOTIFY 'SUNSHINE' AND COP 48 HOURS PRIOR TO START OF CONSTRUCTION.
9. ALL REQUIRED AND EXISTING ROADWAY STRIPES, PAVEMENT SYMBOLS, AND RASPED PAVEMENT MARKERS TO BE THE RESPONSIBILITY OF THE PERMITTEE.
10. [Illegible text]
11. ALL CONSTRUCTION STAKEOUT AND RECORD DRAWING INFORMATION IS TO BE PERFORMED IN THE FIELD BY OR UNDER THE SUPERVISION OF A FLORIDA REGISTERED LAND SURVEYOR.
12. THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD (EOR) WITH ALL NECESSARY TEST INFORMATION TO VERIFY THE JOB IS COMPLETE PER CITY OF PALMETTO STANDARDS. THIS SHALL INCLUDE BUT NOT LIMITED TO DENSITY & LBR TESTING OF BASE & SUB-BASE MATERIAL & BACTERIOLOGICAL CLEARANCE.
13. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMIT CONDITIONS AND REGULATIONS FOR ALL LOCAL, REGIONAL AND STATE AGENCIES, INCLUDING, BUT NOT LIMITED TO, FINAL SITE PLANS, UTILITIES, DRAINAGE, FUGITIVE PARTICULATES AND EROSION.
14. ALL DRAINAGE, GRADING, WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PALMETTO COUNTY STANDARDS AND SPECIFICATIONS.
15. ALL SODDED AND SEEDING AREAS BE WATERED AND FERTILIZED UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.
16. THE OWNER SHALL SUPPLY ALLISON ENGINEERING INC. WITH A PHOTOCOPY OF ALL CONSTRUCTION TESTS AND OTHER REQUIRED MATERIALS TESTS UNDER THE TESTING SCHEDULE GUIDE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL REQUIRED TESTING WITH THE GEOTECHNICAL ENGINEER UPON COMPLETION OF THE WORK. THE GEOTECHNICAL ENGINEER SHALL SUBMIT CERTIFICATIONS TO THE ENGINEER AND OWNER THAT STATE THAT ALL REQUIREMENTS HAVE BEEN MET.
18. THE CONTRACTOR SHALL REVIEW ALL PROJECT GEOTECHNICAL REPORTS PRIOR TO BIDDING AND THE START OF CONSTRUCTION.
19. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED CONSTRUCTION DRAWINGS AND ALL PERMITS AT THE CONSTRUCTION SITE.

TRAFFIC NOTES

- 1. ALL SIGNING AND STRIPING IS TO BE IN ACCORDANCE WITH FOOT STANDARD INDEX 17345.
2. ALL RASPED REFLECTIVE PAVEMENT MARKING PLACEMENT IS TO BE IN ACCORDANCE WITH FOOT STANDARD INDEX 17352.
3. ALL SIGNS, POLES, MARKERS, LANDSCAPE, DRIVEWAYS, AND OTHER ENCUMBRANCES OF THE RIGHT OF WAY NOT SHOWN ON THIS PLAN TO BE REPLACED OR RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.
4. ALL MAINTENANCE OF TRAFFIC TO BE PER FOOT SPECIFICATIONS.
5. ALL TRAFFIC CONTROL, SIGNAGE AND PAVEMENT MARKINGS, IF WARRANTED, SHALL CONFORM TO FOOT AND MUTCD STANDARDS.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN APPROVED RIGHT OF WAY USE PERMIT PRIOR TO ANY WORK WITHIN CITY RIGHT OF WAY.

CLEARING AND GRUBBING NOTES

UTILITY NOTES

- 1. THE CONTRACTOR IS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION FROM ALL UTILITIES OWNERS.
2. THE CONTRACTOR IS TO ASSURE HIMSELF THAT ALL UNDERGROUND UTILITIES AND STORM SEWER IS CONSTRUCTED, TESTED AND OPERATIONAL PRIOR TO ANY ROADWAY CONSTRUCTION.
3. WATERMANS ARE TO BE IDENTIFIED, COLORED BLUE, SDR-18, C-900 OR C-908 PVC. WATER SERVICES, WHERE LOCATED UNDER PAVEMENT, TO BE ENCASED IN CLASS 150, SDR-26 (3' MIN.). MAINTAIN A MINIMUM OF 36" COVER.
4. GRAVITY SANITARY SEWERS ARE TO BE IDENTIFIED, COLORED GREEN, SDR 28 PVC AND CONFORMING TO ASTM D-3034. MAINTAIN A MINIMUM OF 36" COVER.
5. SANITARY SEWER FORCE MAINS ARE TO BE IDENTIFIED, COLORED GREEN, SDR-18, C-900 OR C-908 PVC. MAINTAIN A MINIMUM OF 36" COVER.
6. RECLAIMED WATERMANS ARE TO BE IDENTIFIED, COLORED PURPLE, SDR-18, C-900 OR C-908 PVC. MAINTAIN A MINIMUM OF 36" COVER.
7. 10' HORIZONTAL AND 1.5' VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN SEWER AND WATER LINES MEETING TEN STATE STANDARDS SECTION 98.11.
8. ALL UTILITIES SHOWN AS EXISTING WERE DERIVED FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION, SIZE, TYPE AND AMOUNT OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR TO NOTIFY 'CALL SUNSHINE' (PH. 1-800-432-4770), COP AND FPAL 48 HOURS MINIMUM PRIOR TO START OF CONSTRUCTION FOR POSSIBLE DRAINAGE LOCATIONS NOT SHOWN ON PLANS.
9. CONTRACTOR IS RESPONSIBLE FOR ALL GOVERNMENTAL CONSTRUCTION FEES AND CHARGES, INCLUDING INSPECTION FEES, PERMIT FEES, ETC., IF APPLICABLE, TO BE PAID BY THE OWNER. A UTILITY TESTING DEPOSIT MUST BE PAID TO CITY OF PALMETTO PRIOR TO SCHEDULING ANY UTILITY TEST.
10. ALL EASEMENTS AS SHOWN WITHIN THE PROJECT BOUNDARY LIMITS ARE TO BE CONSIDERED PUBLIC (UNLESS OTHERWISE STATED). EASEMENTS TO BE GRANTED IN CONJUNCTION WITH RECORD PLAT PROCESSING.
11. CONTRACTOR SHALL NOTIFY GAS COMPANY PRIOR TO ANY WORK WITHIN EXISTING GAS EASEMENT.
12. CONTRACTOR TO COORDINATE PRESSURE TEST W/ THE CITY OF PALMETTO PROJECT MANAGEMENT INSPECTIONS DEPARTMENT (723-4580) PRIOR TO CONNECTING THE WATER AND FIRE LINE SERVICE. CONTRACTOR SHALL PROVIDE COPIES WITH PRESSURE TEST RESULTS AND BACTERIOLOGICAL CLEARANCE PRIOR TO CONNECTION OF SAME.
13. EXISTING WELLS SHALL BE KEPT IN A WATER-TIGHT MANNER AND BE PROTECTED DURING ALL CONSTRUCTION ACTIVITIES. ANY WELLS DISCOVERED DURING LAND CLEARING SHALL BE PROTECTED OR ABANDONED IN ACCORDANCE WITH SWFWMD RULE CHAPTER 400.
14. CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES AND INSTALLATION OF PROPOSED UTILITY CONDUITS WITH THE APPROPRIATE UTILITY COMPANY (I.E., FPL, BRIGHTHOUSE, GTE, ETC.).

EROSION CONTROL, PREVENTIVE METHODS, SILT SCREENING AND/OR HAY BALES, TO BE IN PLACE PRIOR TO COMMENCEMENT OF EARTHWORK CONSTRUCTION TO MINIMIZE EROSION AND SEDIMENTARY RUNOFF. THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR ANY POTENTIAL EROSION PROBLEMS. IF ANY POTENTIAL EROSION PROBLEMS ARE ENCOUNTERED, OR HAVE OCCURRED, THE CONTRACTOR SHALL INSTALL PROPER EROSION CONTROL MEASURES IMMEDIATELY. STORMWATER TREATMENT FACILITIES ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO UNTREATED RUNOFF OFF-SITE OCCURRING DURING CONSTRUCTION.
2. EROSION CONTROL AND FUGITIVE PARTICULATE ABATEMENT PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR. A 'BEST PRACTICES' EROSION CONTROL PLAN SHALL BE PROVIDED BY THE CONTRACTOR TO IHD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL EXISTING TREES AND BRUSH DESIGNATED FOR REMOVAL ARE TO BE CLEARED AND DISPOSED OFF-SITE, OR BURNED ON-SITE IF APPROVED BY THE DISTRICT FIRE DEPARTMENT AND COUNTY HEALTH DEPARTMENT. ALL EXISTING TREES AND UNDERBRUSH AREAS THAT ARE TO REMAIN UNDISTURBED SHALL BE PROTECTED BY BARRICADES. THE CONTRACTOR SHALL INSTALL S&D BARRICADES AT COMMENCEMENT OF CONSTRUCTION AND REMOVE FOLLOWING FINAL GRADING AND LANDSCAPING.
4. SODDING AND/OR GRASSING TO BE COMPLETED IMMEDIATELY UPON COMPLETION OF FINISH GRADING. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FUGITIVE PARTICULATE ABATEMENT PLAN (DUST CONTROL).
5. PROPOSED PARKING AND BUILDING AREAS TO BE CLEARED OF ALL TREES AND BRUSH, AND STRIPPED TO A MINIMUM DEPTH OF 6" AND/OR BOTTOM OF ORGANIC LAYER.
6. REMOVAL OF ALL EXOTIC NUISANCE PLANT SPECIES FROM THE UPLAND PORTIONS OF THE SITE SHALL BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY ISSUANCE OR FINAL PLAT APPROVAL, IN ACCORDANCE WITH THE CITY OF PALMETTO.
7. PRIOR TO COMMENCEMENT OF CONSTRUCTION OR LAND CLEARING, AN EROSION AND SEDIMENT CONTROL PLAN (ESCCP) SHALL BE SUBMITTED TO THE CITY OF PALMETTO FOR REVIEW AND APPROVAL. FINAL SITE PLANS, CONSTRUCTION PLANS, ERP AND NPDES PERMIT APPROVALS MUST BE OBTAINED PRIOR TO SUBMITTAL OF THE ESCCP.

DRAINAGE AND GRADING NOTES

ESCP NOTES

- 1. DETAILS OF CONSTRUCTION SEQUENCING, DEWATERING ACTIVITIES AND SUMP LOCATIONS, STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS.
A. DESCRIPTION OF LAND CLEARING, DEWATERING ACTIVITIES, EXISTING SITE CONDITIONS AND ADJACENT LAND USES/AREAS THAT MIGHT BE AFFECTED BY LAND CLEARING DISTURBANCES.
RESPONSE: LAND CLEARING SHALL CONSIST OF 8" OF GRUBBING OF A CRASSED AREA.
B. IDENTIFICATION OF STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS.
RESPONSE: NO STOCKPILE AREAS WILL BE NECESSARY, FILL WILL BE PLACED AS RECEIVED.
C. DESCRIPTION OF POTENTIAL ON-SITE FUGITIVE AREAS SUCH AS STEEP GRADE CHANGES, HIGHLY ERODIBLE SOIL, AREAS ADJACENT TO WETLANDS SURFACE WATER, UPLAND PRESERVATION AREAS.
RESPONSE: STEEP SLOPE AREAS WILL BE STABILIZED WITH SOG AS SOON AS GRADES ARE BROUGHT TO DESIGN ELEVATION AND FINISHED GRADING HAS BEEN COMPLETED.
D. CONSTRUCTION SCHEDULE, INCLUDING THE EXPECTED STARTING AND STABILIZATION DATES.
RESPONSE: CONSTRUCTION IS SCHEDULED TO COMMENCE IMMEDIATELY UPON APPROVAL OF THE ESCCP CONSTRUCTION PLANS AND IS ANTICIPATED TO TAKE 1 YEAR TO COMPLETE THE SITE IMPROVEMENTS.
E. IDENTIFICATION OF DISTURBED AREAS WHERE CONSTRUCTION WILL NOT BE ONGOING AND FINAL GRADE WILL NOT BE ACCEPTED WITHIN FOURTEEN (14) DAYS, AND AN INDICATION OF TEMPORARY STABILIZATION DATES.
RESPONSE: DISTURBED AREAS WILL BE STABILIZED (I.E. GRASSED) IMMEDIATELY UPON COMPLETION OF FINISHED GRADING.
1. DETAILS OF BEST MANAGEMENT PRACTICES AND FUGITIVE PARTICULATE ABATEMENT METHODS.
A. DETAILS, DRAWINGS AND CROSS-SECTIONS OF EROSION AND SEDIMENT CONTROL DEVICES, IF DEFERENT FROM THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS AND WHEN THEY WILL BE INSTALLED.
RESPONSE: PLEASE REFER TO THE ATTACHED ESCCP.
B. MAINTENANCE PROGRAM FOR EROSION AND SEDIMENT CONTROL DEVICES INCLUDING INSPECTION FREQUENCY AND MAINTENANCE ACTIVITIES.
RESPONSE: SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR DAILY AND WITHIN 1 HOUR AFTER A RAINFALL EVENT OF 1" OR GREATER. A DAILY INSPECTION SHEET SHALL BE POSTED IN THE 'CONSTRUCTION BOX' ON SITE FOR REVIEW BY AGENCY STAFF OR THIS OFFICE.
C. HAUL ROUTES AND DETAILS OF ASPEN STABILIZATION AT ENGINEERING FOOTCOTS TO RIGHTS-OF-WAY.
RESPONSE: NO HAUL ROUTES WILL BE NECESSARY FOR THIS DEVELOPMENT.
D. DETAILS/LOCATIONS OF EQUIPMENT WASHING AREA.
RESPONSE: PLEASE SEE ATTACHED ESCCP.
E. DETAILS OF FUGITIVE PARTICULATE ABATEMENT METHODS.
RESPONSE: PLEASE SEE ATTACHED ESCCP. TRUCK WATERING AND OR FLYING STEERING SHOULD ABATEMENT PROBLEMS EXIST.
F. CONTRACTOR INFORMATION, INCLUDING A TWENTY-FOUR HOUR, EVEN-DAY CONTACT AND PHONE NUMBER.
RESPONSE: CONTRACTOR INFO TO BE DETERMINED.
1. DETAILS OF DEWATERING ACTIVITIES AND LOCATIONS, DRAWINGS AND CROSS SECTIONS OF DEWATERING RUNOFF.
RESPONSE: PLEASE SEE ATTACHED ESCCP.

DEWATERING NOTES

- 1. THE CONTRACTOR IS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION FROM ALL UTILITIES OWNERS.
2. THE CONTRACTOR IS TO ASSURE HIMSELF THAT ALL UNDERGROUND UTILITIES AND STORM SEWER IS CONSTRUCTED, TESTED AND OPERATIONAL PRIOR TO ANY ROADWAY CONSTRUCTION.
3. WATERMANS ARE TO BE IDENTIFIED, COLORED BLUE, SDR-18, C-900 OR C-908 PVC. WATER SERVICES, WHERE LOCATED UNDER PAVEMENT, TO BE ENCASED IN CLASS 150, SDR-26 (3' MIN.). MAINTAIN A MINIMUM OF 36" COVER.
4. GRAVITY SANITARY SEWERS ARE TO BE IDENTIFIED, COLORED GREEN, SDR 28 PVC AND CONFORMING TO ASTM D-3034. MAINTAIN A MINIMUM OF 36" COVER.
5. SANITARY SEWER FORCE MAINS ARE TO BE IDENTIFIED, COLORED GREEN, SDR-18, C-900 OR C-908 PVC. MAINTAIN A MINIMUM OF 36" COVER.
6. RECLAIMED WATERMANS ARE TO BE IDENTIFIED, COLORED PURPLE, SDR-18, C-900 OR C-908 PVC. MAINTAIN A MINIMUM OF 36" COVER.
7. 10' HORIZONTAL AND 1.5' VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN SEWER AND WATER LINES MEETING TEN STATE STANDARDS SECTION 98.11.
8. ALL UTILITIES SHOWN AS EXISTING WERE DERIVED FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION, SIZE, TYPE AND AMOUNT OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR TO NOTIFY 'CALL SUNSHINE' (PH. 1-800-432-4770), COP AND FPAL 48 HOURS MINIMUM PRIOR TO START OF CONSTRUCTION FOR POSSIBLE DRAINAGE LOCATIONS NOT SHOWN ON PLANS.
9. CONTRACTOR IS RESPONSIBLE FOR ALL GOVERNMENTAL CONSTRUCTION FEES AND CHARGES, INCLUDING INSPECTION FEES, PERMIT FEES, ETC., IF APPLICABLE, TO BE PAID BY THE OWNER. A UTILITY TESTING DEPOSIT MUST BE PAID TO CITY OF PALMETTO PRIOR TO SCHEDULING ANY UTILITY TEST.
10. ALL EASEMENTS AS SHOWN WITHIN THE PROJECT BOUNDARY LIMITS ARE TO BE CONSIDERED PUBLIC (UNLESS OTHERWISE STATED). EASEMENTS TO BE GRANTED IN CONJUNCTION WITH RECORD PLAT PROCESSING.
11. CONTRACTOR SHALL NOTIFY GAS COMPANY PRIOR TO ANY WORK WITHIN EXISTING GAS EASEMENT.
12. CONTRACTOR TO COORDINATE PRESSURE TEST W/ THE CITY OF PALMETTO PROJECT MANAGEMENT INSPECTIONS DEPARTMENT (723-4580) PRIOR TO CONNECTING THE WATER AND FIRE LINE SERVICE. CONTRACTOR SHALL PROVIDE COPIES WITH PRESSURE TEST RESULTS AND BACTERIOLOGICAL CLEARANCE PRIOR TO CONNECTION OF SAME.
13. EXISTING WELLS SHALL BE KEPT IN A WATER-TIGHT MANNER AND BE PROTECTED DURING ALL CONSTRUCTION ACTIVITIES. ANY WELLS DISCOVERED DURING LAND CLEARING SHALL BE PROTECTED OR ABANDONED IN ACCORDANCE WITH SWFWMD RULE CHAPTER 400.
14. CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES AND INSTALLATION OF PROPOSED UTILITY CONDUITS WITH THE APPROPRIATE UTILITY COMPANY (I.E., FPL, BRIGHTHOUSE, GTE, ETC.).

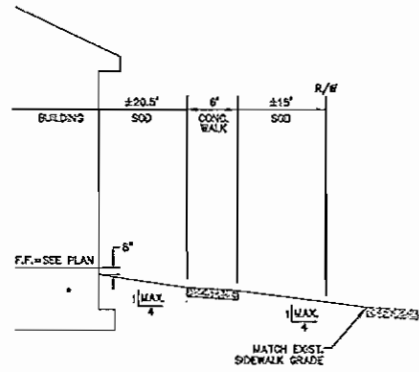
TESTING SCHEDULE GUIDE

Table with columns: ITEM, TEST TYPE, TEST LOD, REQUIREMENT, FREQUENCY. Includes rows for Embankment, Utility Trench Backfill, Backfill of Structures, Subgrade, Soil Cement Base, Asphalt Concrete, and Loess/Abandonment.

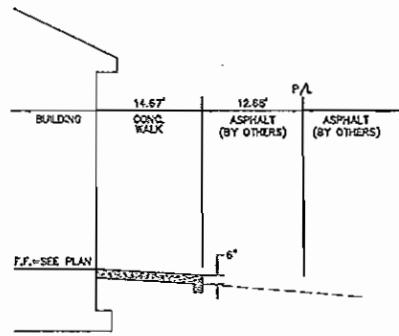
NOTES: * The Contractor shall not pave over soil cement base until a 30 day curing time has elapsed. ** Maximum strength limits, as established by soils testing company, shall not be exceeded. *** Should any of the information herein conflict with either the recommendations of the Geotechnical Engineer, and/or the Geotechnical Engineer, then the aforementioned recommendations shall supersede this TESTING SCHEDULE GUIDE.

ALLISON ENGINEERING logo and contact information. Includes 'GENERAL NOTES & SPECIFICATIONS FOR BOYS & GIRLS CLUB-PALMETTO BRANCH' and 'SECTION 15, TOWNSHIP 34 SOUTH, RANGE 17 EAST CITY OF PALMETTO, FLORIDA'. Also includes 'REVISIONS' table and 'SHEET 3'.

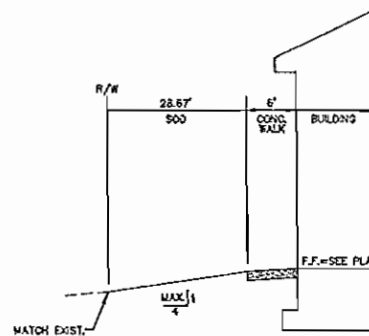
4/22/2009 9:16:12 PM 2110 D:\Data\Architect\Projects\2009\CLUB-GIRLS-PALMETTO\DWG\SECTION & DETAILS SHEET 6.dwg 17/02/09 17:02/09



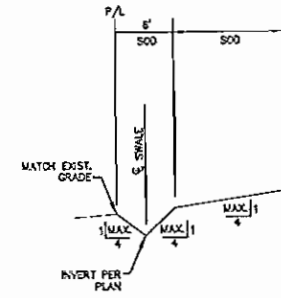
SECTION "A-A"
N.T.S.



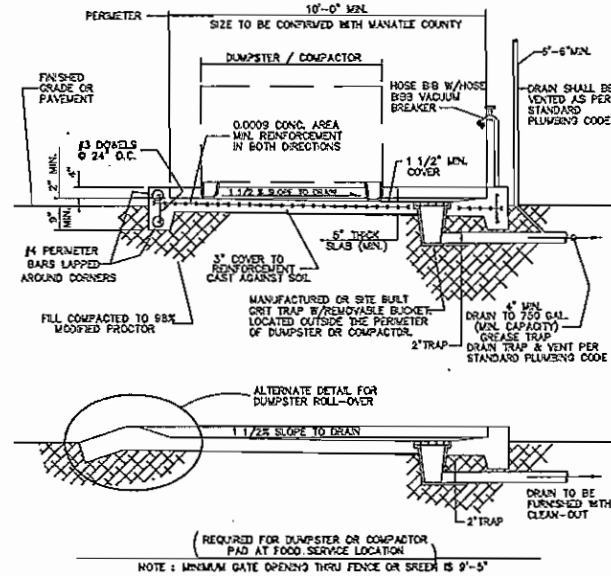
SECTION "B-B"
N.T.S.



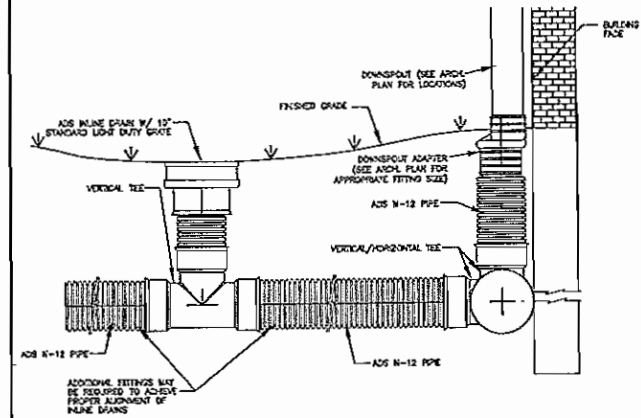
SECTION "C-C"
N.T.S.



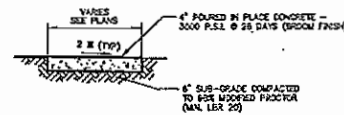
SECTION "D-D"
N.T.S.



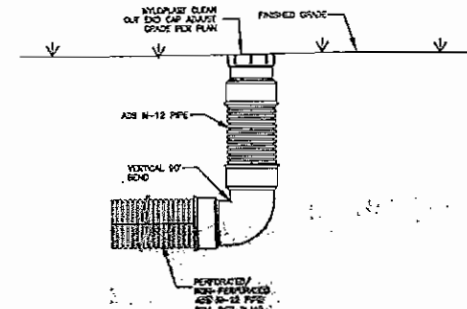
FOOD SERVICE DUMPSTER PAD DETAIL
N.T.S.



DOWN SPOUT & INLINE DRAIN DETAIL
N.T.S.



TYPICAL SIDEWALK DETAIL
N.T.S.



DRAINAGE CLEANOUT DETAIL
N.T.S.

M. ANDREW ALLISON
PE # 53965

ALLISON ENGINEERING

SECTIONS & DETAILS
FOR
BOYS & GIRLS CLUB-PALMETTO BRANCH
LOCATED IN
SECTION 15, TOWNSHIP 34 SOUTH, RANGE 17 EAST
CITY OF PALMETTO, FLORIDA

NO.	DATE	DESCRIPTION
1	17/02/09	ADD FOOD SERVICE DUMPSTER 4/22/09
2		
3		
4		
5		
6		
7		

SHEET 6

PROPOSED LANDSCAPE SCHEDULE

	Quercus virginiana	Live Oak	3" (45 gal)	As shown	12'-14" ht, 6'-7" spd.
	Magnolia grandiflora 'Little Gem'	Magnolia 'Little Gem'	2" (30 gal)	As shown	10' ht, 6' spd.
	Ulmus parvifolia	Allea Elm	2" (30 gal)	As shown	10' ht, 6' spd.
	Ulmus alata	Winged Elm	2" (30 gal)	As shown	10' ht, 4' spd.
	Wodyetia bifurcata	Fox Tail Palm	Triple Trunk	As shown	12' cl, max. 2' variance
	Senna polyphylla	Desert Cactus	20 gal	As Shown	6" diameter
	Viburnum 'awabak'	Awabak Viburnum	3 ga.	36" cc	24" ht x 18" spd
	Zamia pumila	Coccoloba	3 gal	36" cc	24" ht x 24" spd
	Zamia maritima	Coarboad Palm	3 ga.	36" cc	24" ht x 24" spd
	Nolina floridana	Florida Anise	3 ga.	36" cc	24" ht x 18" spd
	Agave attenuatus	Leaf of the Nile	1 ga.	cluster of 3	18" ht x 6" spd
	Muhlenbergia capillaris	Gulf Muhly Grass	1 ga.	30" cc	18" ht x 12" spd
	Lantana montevidensis	Purple Trailing Lantana	1 ga.	20" cc	6" ht x 18" spd
	Bahiá	Sod			Refer
	Mulch	Recycled wood chips 3" min. depth			Pieces no larger than 2.5"

Note: Alternate native species or drought tolerant species may be substituted for the above referenced species.

Sec. 7-219. Landscape standards.

(a) Landscape area requirements. A minimum of twenty (20) percent of the lot under development shall be devoted to the landscaping standards and requirements under this article.

(b) Perimeter buffers. Landscape buffers shall be required along all property boundaries in accordance with the following:

(1) Streets. Landscape buffers shall be provided along all public streets and shall include, at a minimum, two (2) canopy trees and forty (40) shrubs per one hundred (100) linear feet of street frontage excluding driveways. Such trees and shrubs may be placed in an evenly spaced linear pattern or a clustered, non-linear pattern. A visibility triangle as defined under the Zoning Code, appendix B, article V, sections 5.1(a) and (b) shall be maintained at the intersection of streets, a street and railroad, or a street and driveway.

(2) Differing adjacent land uses. Landscape buffers shall be provided along the boundaries of adjacent property having differing land uses. Such buffers shall meet the requirements of Figure 1 (set out at the end of this section) and the following standards:

a. A six-foot-high fence as authorized under the Palmetto Fence Ordinance, plus one (1) canopy tree every fifty (50) linear feet; or

b. An earthen berm having a maximum height of six (6) feet, including landscaping with a maximum slope of three (3) feet horizontal for each foot vertical; or

c. A landscape buffer meeting the requirements in subsection (b)(1) above.

(c) Vehicle use area landscaping requirements. All vehicle use areas containing more than six (6) parking stalls or an area greater than one thousand (1,000) square feet shall be landscaped in accordance with the following requirements:

(1) Interior landscaping requirements. For parking stalls that are not abutting perimeter landscaped areas under subsection (b) above, no more than twenty (20) canopy trees shall be allowed without a landscape island separating them. All such landscape islands shall be a minimum of eight (8) feet in width. Islands shall be placed within the interior of the vehicle use area as follows:

a. Vertical islands: A row of parking stalls shall be terminated on each end by a vertical island that shall contain in at least one (1) canopy tree and twenty (20) shrubs.

b. Lateral islands: The location of lateral islands shall be flexible, provided that there are not more than twenty (20) stalls in a row without an island separating each group of stalls. Such islands shall contain in at least one (1) canopy tree and twenty (20) shrubs.

(2) Medians. As an alternative to lateral islands within abutting rows of parking stalls, a landscaped divider median between such rows shall be provided. The minimum width of such median areas shall be three (3) feet in the event wheel stops are provided or a minimum of eight (8) feet in width in the event concrete curbing is used without wheel stops. Within each divider median, one (1) canopy tree and twenty (20) shrubs shall be planted per fifty (50) linear feet.

(3) Perimeter landscaping requirements. Where parking areas abut a street, the requirements of subsection (b)(3) may be satisfied in most perimeter landscaping requirements for the portion of the vehicle use area adjacent to the street. However, where the parking does not abut the street, the perimeter landscaping shall be as follows: A perimeter landscaping island having a minimum width of three (3) feet shall be provided enclosing one (1) canopy tree per every fifty (50) feet. Such island shall be protected by wheel stops or curbing.

Sec. 7-220. Landscape specifications.

(1) General requirements. All landscaping shall be installed in accordance with accepted proper planting procedures. Plant material shall be Florida Number One as defined in the "Grades and Standards for Nursery Plants," Part I and II, Florida Department of Agriculture and Consumer Services. The plants shall be suitable to the climate, drought tolerant, and appropriate to the conditions in which they are to be planted.

(2) Maintenance responsibility. Property owners other than owners of a city lot of record shall be responsible for the maintenance of all landscape areas in a manner that is consistent with an approved landscape plan. Any dead plant material shall be replaced with the same variety and size within sixty (60) days after its removal. Vegetation is deemed not maintained if the plant material is removed or replaced with a similar size or a different variety, or if the material is not replaced within sixty (60) days. When vegetation is not maintained in a healthy state, it shall be subject to enforcement action by the code enforcement board.

(3) Tree specifications. Trees planted shall be of a species that requires minimal water and maintenance and shall have a minimum height of ten (10) feet, a minimum trunk caliper of one and one-half (1 1/2) inches and a minimum spread of four (4) feet. Container-grown trees are preferred.

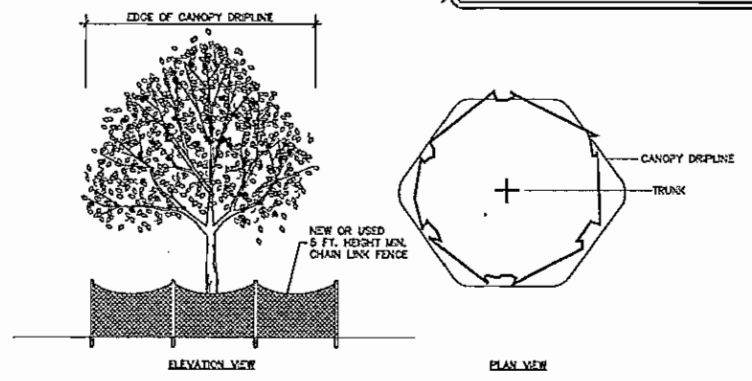
(4) Shrub specifications. Shrubs planted shall be container-grown.

(5) Hedge specifications. Shrubs used for hedges shall be a minimum height of two feet (2') and be densely, upon planting and shall be spaced to form a continuous visual screen.

(6) Fence and other specifications. Required fences shall be constructed of wood, brick, stone block with screen or split-face block. Chain-link fences and exposed block walls may be used as a landscape screen. Fences shall be a minimum of three (3) feet in height at the time of planting and attach to the fence with a maximum of three (3) inches in height. New landscaping the foregoing, all such fences must be constructed and maintained in conformance with the Palmetto Fence Ordinance (section 7-181) or set.

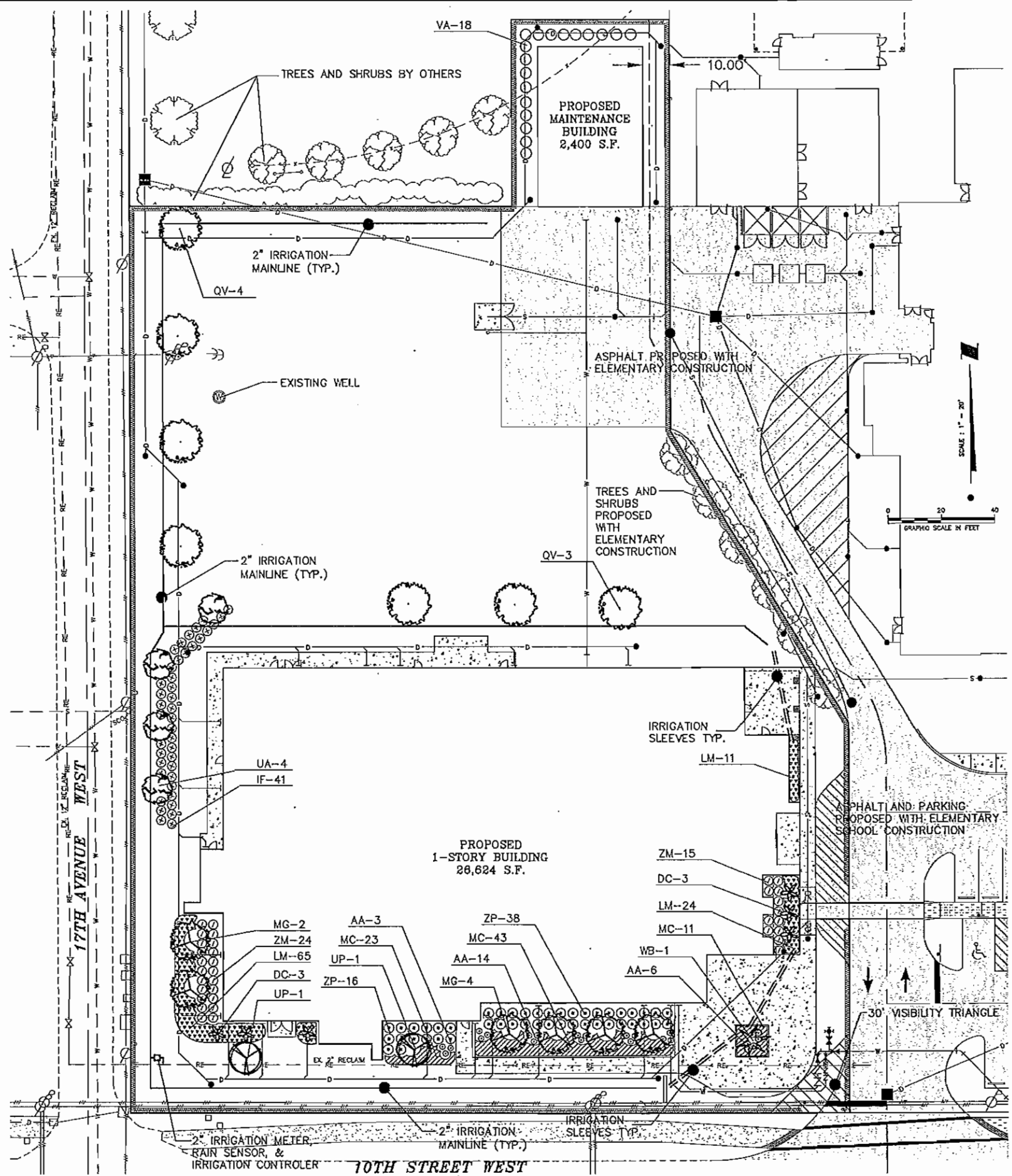
NOTES

- All plant materials used shall conform to the standards for Florida No. 1 or better as described in "Grades and Standards for Nursery Plants," State of Florida, Department of Agriculture and Consumer Services, Tallahassee, or equal thereof as approved.
- Trees proposed for preservation shall be protected in accordance with the detail on sheet L-1.
- All planted material shall be 100% irrigated. The irrigation system will be equipped with a rain sensor.
- Irrigation shall be provided via existing mainline (2" minimum).



INSTALL TREE PROTECTION BARRICADES AT THE EDGE OF CANOPY DRIPLINE OF ALL EXISTING TREES TO REMAIN. GRADE SHALL MAINTAINED WITHIN BARRICADE. NO MATERIALS INCLUDING FILL MAY BE STORED WITHIN BARRICADE. CONTRACTOR SHALL MAINTAIN BARRICADES THROUGHOUT CONSTRUCTION. TREES SHALL BE PROTECTED USING TECHNIQUES SET OUT IN THE TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

TREE BARRICADE DETAIL
NOT TO SCALE

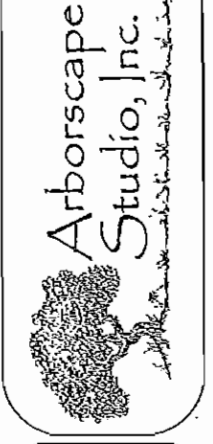


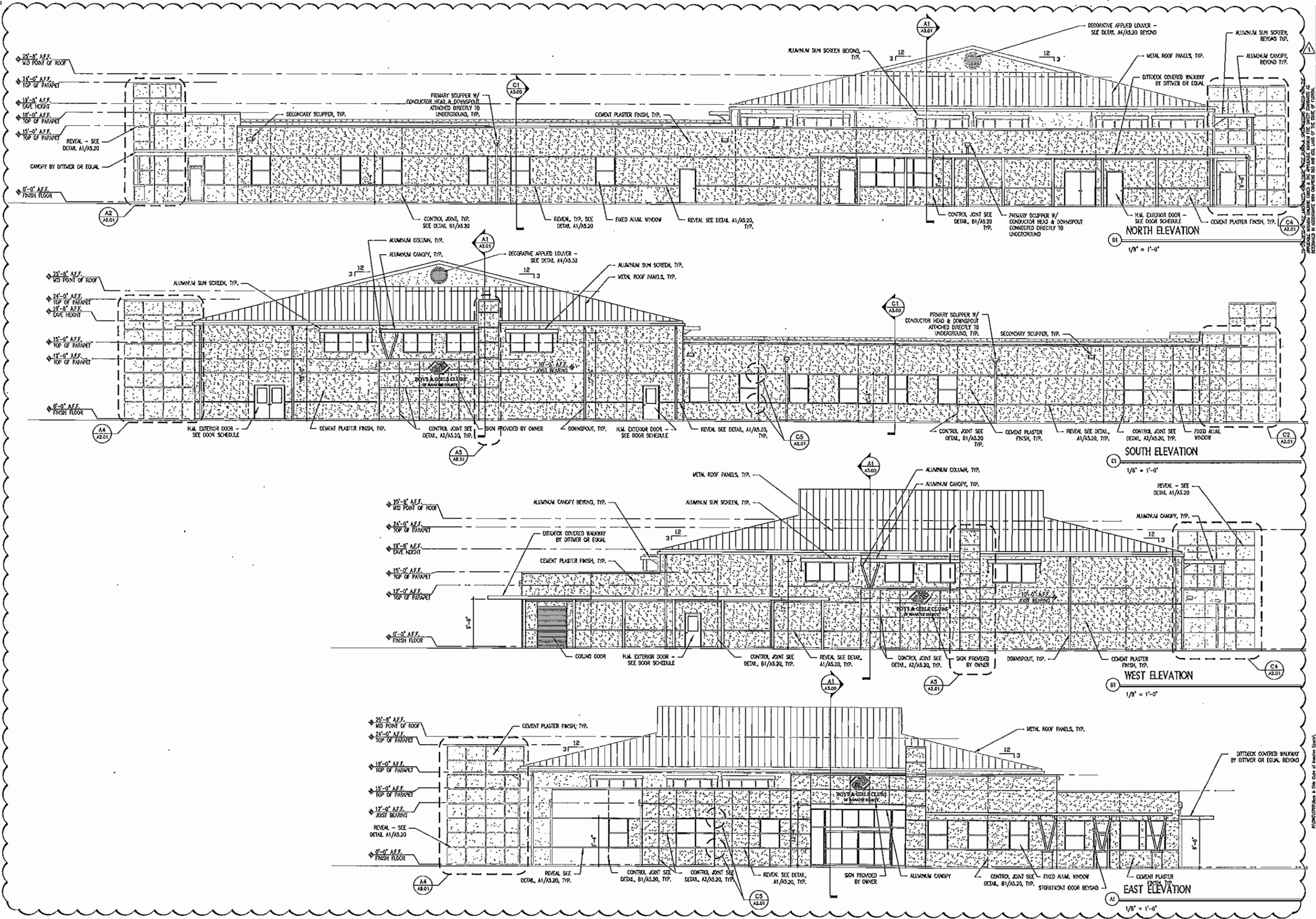
Date: 04/07/09
 Revisions:
 No. 2/10/09

Revisions:
 No. 2/10/09

LANDSCAPE / IRRIGATION PLAN
PALMETTO BRANCH
BOYS AND GIRL'S CLUB
 CITY OF PALMETTO, FLORIDA

931 Olympia, Rd.
 Venice, FL, 34293
 Phone: 941-345-5594





DONALD M. LAWSON

LAWSON GROUP INC.

1977 Marine Drive, Suite 100
Palmetto, Florida 34221
Phone: 813-981-3333
Fax: 813-981-3333

EXTERIOR ELEVATIONS

A NEW FACILITY FOR:
BOYS & GIRLS CLUBS OF MANATEE COUNTY
1600 10TH ST WEST
PALMETTO, FLORIDA

A2.00

Project Name: A NEW FACILITY FOR BOYS & GIRLS CLUBS OF MANATEE COUNTY
 Project Location: 1600 10TH ST WEST, PALMETTO, FLORIDA
 Project No.: 2008-01
 Date: 08-06-08
 Scale: AS NOTED
 Drawn: DAR/DJD
 Checked: DAL
 Sheet: A2.00

Copyright © 2008 D. M. Lawson Group, Inc.
 All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the author.