

Tab 4

C&D MIGRANT HOUSING CONDITIONAL USE
CU-08-03

Staff Report
Conditional Use Permit (CU0803)
C&D Fruit and Vegetable Company, Inc.
713 17th Street West

BACKGROUND:

The C&D Fruit and Vegetable Company (C&D) purchased the property located at 713 17th Street West in 2005. The property has been utilized as a farm labor camp for several years. The site currently contains seven buildings with 14 units used for the temporary housing of laborers. The southeast corner of the site has a large area currently unoccupied by any structures. C&D has a need for additional housing. This application would allow the owner to build two additional buildings. One building is proposed to be constructed in the previously mentioned vacant area and will contain 12 additional units. The other building is proposed to be constructed near the entrance to the property and serve as a security/caretaker quarters.

The subject property is zoned RM-6 (Residential Multi-Family). Farm labor camps are only allowed as a conditional use in the RM-6 zoning district. No other zoning district allows farm labor camps. The definition of *Farm Labor Camp* is:

One (1) or more buildings or structures, or any portion thereof, together with the land appertaining thereto, established, operated, furnished as an incident of employment or used as a living quarters for seasonal, temporary or migrant farm workers or their families, whether or not rent is paid or reserved in connection with the use or occupancy of such premises.

Because these units are for temporary housing, density limitations do not apply. Farm labor camps have smaller units comparable to that of a motel or other transient accommodation. The site needs to provide one parking space per unit. The plan depicts a total of 29 parking spaces for the 26 total units.

The site is currently in need of redevelopment. The applicant has indicated that the entire parking/drive aisle area will be repaved, existing buildings will be renovated, and the new structures built to current Land Development and Building Code standards. The completed developed site will serve as an enhancement from that of the current condition.

GENERAL LOCATION/PARCEL SIZE:

Location: 713 17th Street West

EXISTING LAND USE/ZONING CATEGORY:

Future Land Use: GCOM (General Commercial)
Zoning: RM-6 (Residential Multi-Family)

REQUESTED APPROVAL

A conditional use permit may be issued for the establishment of a farm labor camp pursuant to Article 15 of the Land Development Code. The proposed use cannot create an unsafe condition or be detrimental to health safety and welfare of the general public. The following conditions have been analyzed in reviewing this request:

- (1) The proposed use shall be consistent with the purpose and intent of the applicable zoning district regulations, this article, and the comprehensive plan. **The use currently exists. The proposed plan will serve to improve the entire site. The site has the appropriate zoning and future land use designation for a farm labor camp.**
- (2) The proposed use shall be compatible with surrounding land uses and the general character of the area, considering, without limitation, such factors as traffic, lighting, appearance, and effect on surrounding property values. **The proposed expansion and renovation should not have an adverse effect on traffic, lighting, appearance, or surrounding property values.**
- (3) The conditional use will not adversely impact on the public interest or adjacent property and all necessary alternative measures shall be taken by the applicant to prevent any such impact. **Staff is recommending that an opaque fence be constructed along the south (rear) property line to mitigate the impact from an additional building being located adjacent to the existing single family residences.**
- (4) The conditional use is not discriminatory, considering similar situations in the general area and in past decisions under this article. **This request is not discriminatory. There are other farm labor camps in the general area that serve a temporary housing need.**
- (5) The purpose of the requirement is otherwise fully achieved, or more important purposes of this article will be served thereby, or the requirement serves no valid public purpose in the particular case. **The requirement provides a valid public purpose. As previously mentioned, a farm labor camp is only permitted with a conditional use permit in RM-6. In this**

case the use is already established.

- (6) The proposal shall be consistent with the stated purpose and intent of the applicable district regulations and this article. **The proposal is consistent with stated purpose and intent of the RM-6 zoning district regulations.**
- (7) The proposal shall comply, where applicable, to the regulations of the zoning district in which the proposed use is most commonly permitted. **RM-6 is the only district which conditionally permits farm labor camps.**
- (8) The proposal shall not create hazardous vehicular or pedestrian traffic conditions or any other type of unsafe condition. **The proposed addition of 12 units will increase traffic, but not enough to create any hazardous vehicular or pedestrian traffic or any other unsafe condition.**

STAFF RECOMMENDATION:

The site has been used as a farm labor camp for many years. The property is in need of improvement. Staff recommends that the site be approved conditioned on requiring the entire site be brought into compliance with current land development and building code requirements. The applicant has worked with staff to replace the water and sewer lines located along the south property line. These utilities are in dire need of replacement and the applicant has agreed to do so. New water and sewer lines will be placed on the north side of the proposed 12 unit building. This will make access to the lines much easier than leaving them in the confined area that they currently exist. The new building will be placed ten (10) feet from the rear property line. This is further from the rear lot line than the existing building to remain located to the west. Staff recommends approval of the proposed conditional use permit with the following conditions:

- 1. A fence shall be built along the south property line adjacent to the single family lots (entire length of property).
- 2. The entire site shall be brought into compliance with current land development and building code requirements.
- 3. The applicant shall work with staff to replace the water and sewer lines currently locate along the south property line.

PLANNING AND ZONING BOARD RECOMMENDATION:

The Planning and Zoning Board shall recommend **APPROVAL, APPROVAL WITH CONDITION(S) or DENIAL** of the proposed conditional use permit application.

CITY COMMISSION

The City Commission shall **APPROVE, APPROVE WITH CONDITION(S) or DENY** the proposed conditional use permit.

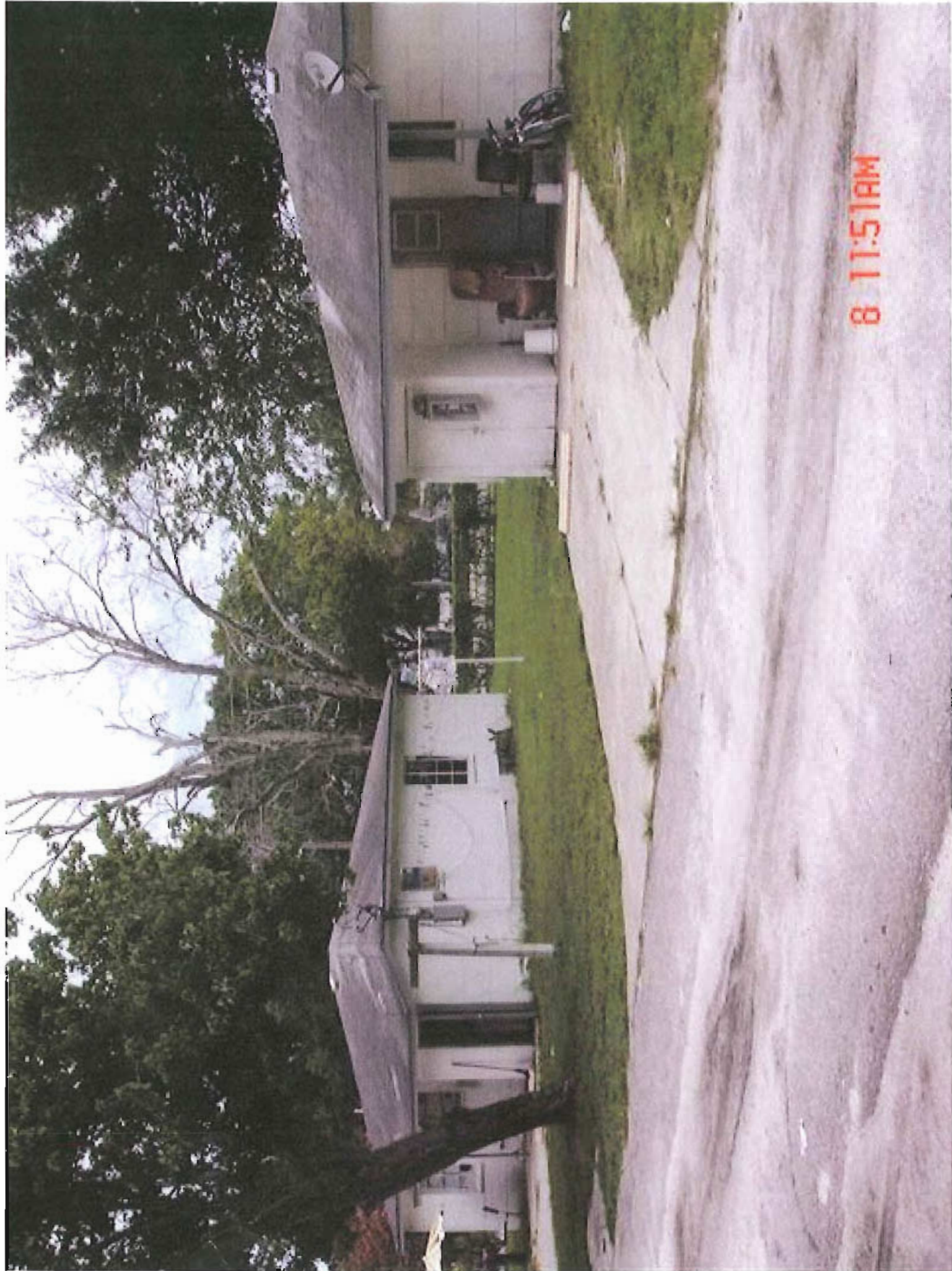
Attachments: Photos
Ariel
Site Plan

08/11/19 AM



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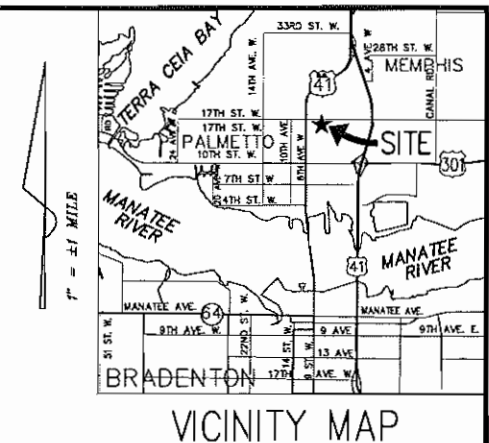




C&D Migrant Housing

INDEX

TITLE	SHEET
COVER SHEET	1
EXISTING CONDITIONS/DEMOLITION PLAN	2
FINAL DEVELOPMENT PLAN	3
ENGINEERING PLAN	4
GENERAL NOTES & SPECIFICATIONS	5
DRAINAGE & GRADING DETAILS	6
WATER & SEWER DETAILS	7
LANDSCAPE & IRRIGATION PLAN	8



FINAL DEVELOPMENT PLAN
FOR
C & D MIGRANT HOUSING
LOCATED IN
SECTION 14, TOWNSHIP 34 SOUTH, RANGE 17 EAST,
CITY OF PALMETTO, FLORIDA
EXISTING ZONING: RM6
FUTURE LAND USE: GCOM

NOTES:

1. THE SITE IS CURRENTLY ZONED RM-6 AND IS USED AS MIGRANT HOUSING.
2. THE SUBJECT LAND LIES IN ZONES "C" OF THE FLOOD INSURANCE RATE MAP (FIRM), PANEL NUMBER 120159 0003, C DATED 11/15/83.
3. THERE ARE NO KNOWN HISTORIC AREAS ON THIS SITE.
4. THERE ARE NO KNOWN WETLANDS ON THIS SITE.
5. THERE ARE NO KNOWN WELLS LOCATED ON THIS SITE.
6. THERE ARE NO KNOWN PUBLIC USE AREAS ON THIS SITE.
7. SURVEY INFORMATION BASED ON A SURVEY BY : LEO WILLS & ASSOCIATES, INC.
8. INFRASTRUCTURE CONSTRUCTION WILL COMMENCE JUNE 2008 , AND WILL BE COMPLETED JUNE 2009 .
9. SOLID WASTE DISPOSAL WILL BE PROVIDED BY THE CITY OF PALMETTO VIA CAN SERVICE PICK-UP.
10. OPEN SPACE TO BE PRIVATELY MAINTAINED.
11. SANITARY SEWER AND POTABLE WATER WILL BE CONSTRUCTED TO CITY OF PALMETTO STANDARDS AND PRIVATELY MAINTAINED.
12. PROFILES AND CROSS-SECTIONS OF STREETS ARE NOT REQUIRED WITH THIS PROJECT.

UTILITIES

BRIGHTHOUSE
CONTACT: MR. TOM WRIGHT
4597 15th STREET EAST
BRADENTON, FLORIDA 34203
(941) 752-1540

PEOPLES GAS SYSTEM, INC.
CONTACT: MR. DANIEL PLATT
SARASOTA, FLORIDA 34235
(941) 365-4277

PALMETTO PUBLIC WORKS DEPT.
CONTACT: MR. DUANE KINN
800 17th STREET WEST
PALMETTO, FLORIDA 34221
(941) 723-4580

VERIZON TELEPHONE OPERATIONS
CONTACT: MR. LARRY BROOKS
1701 RINGLING BOULEVARD
SARASOTA, FLORIDA 34230
(811) 753-1844

FLORIDA POWER & LIGHT
CONTACT: MEL RAY VANLANDINGHAM
1851 WHITEFIELD AVENUE
SARASOTA, FLORIDA 34243
(941) 739-3306

SITE DATA:

PROJECT AREA	1.37 AC.
TOTAL BUILDING AREA (EXISTING & PROPOSED)	11,797 S.F.
EXISTING NUMBER OF UNITS	= 14
PROPOSED NUMBER OF UNITS	= 121
TOTAL NUMBER OF UNITS	= 28
F.A.R.	= 0.19
OPEN SPACE	= 0.48 AC., 33.5%
MAX. BUILDING HEIGHT	= 20'
PARKING REQUIRED	
MIGRANT HOUSING (12 PROP. + 14 EX. UNITS @ 1 SPACE/UNIT)	= 26 SPACES
PROPOSED PARKING	= 14 SPACES
	(INCLUDES 2 HANDICAP)
EXISTING PARKING	= 15 SPACES
TOTAL PARKING PROVIDED	= 29 SPACES
PROJECT ADDRESS	713 17TH STREET WEST PALMETTO, FL 34221

SETBACKS:

FRONT	30'
SIDE	15'
REAR	10'

LEGAL DESCRIPTION

DESCRIPTION:

LOTS 27,28,29,30,31,32,33 SUBJ TO DRAIN EASMT DEED IN ORB 832 P 491 PRMCF ENTRANCE PARK 155S DR 3227/33G PARCEL 102 FOR JAGTI, RO R/W DISC AS FOLLOWS: A PARCE OF LAND BEING A PORTION OF LOTS 27-33 OF ENTRANCE PARK SUB IN SEC 14, T4N 34S, R9E 17E, AS PER PLAT THEREOF REC IN PLAT BK 4, PG 49 OF THE PRMCF, BEING DEC AS FOLLOWS: BEG AT THE NW COR OF SD LOT 27; TH S 89 DEG 25 MIN 21 SEC E, ALG THE N LN OF SD LOT 27, A DIST OF 3.22 FT; TH S 89 DEG 25 MIN 21 SEC W, A DIST OF 67.70 FT; TH S 88 DEG 38 MIN 25 SEC W, A DIST OF 200.12 FT; TH N 88 DEG 21 MIN 19 SEC W, A DIST OF 67.70 FT; TH S 88 DEG 38 MIN 25 SEC W, A DIST OF 200.12 FT; TH N 88 DEG 21 MIN 19 SEC W, A DIST OF 67.70 FT; TH S 88 DEG 38 MIN 25 SEC W, A DIST OF 200.12 FT; TH N 88 DEG 21 MIN 19 SEC W, A DIST OF 67.70 FT TO THE COR. PLAT 262-56-0005/8.

PREPARED FOR:
MR. THOMAS O'BRIEN
C & D FRUIT AND VEGETABLE CO., INC.
16505 STATE ROAD 64
BRADENTON, FL 34202

DRC MEMBER	OK	SIGNATURE	DATE
DEPUTY DIRECTOR OF OPERATIONS			
CITY PLANNER			
FIRE MARSHALL			
CITY ENGINEER			
DRC COORDINATOR			
STIPULATIONS		YES	
		NO	
DIRECTOR OF PUBLIC WORKS	SIGNATURE		DATE

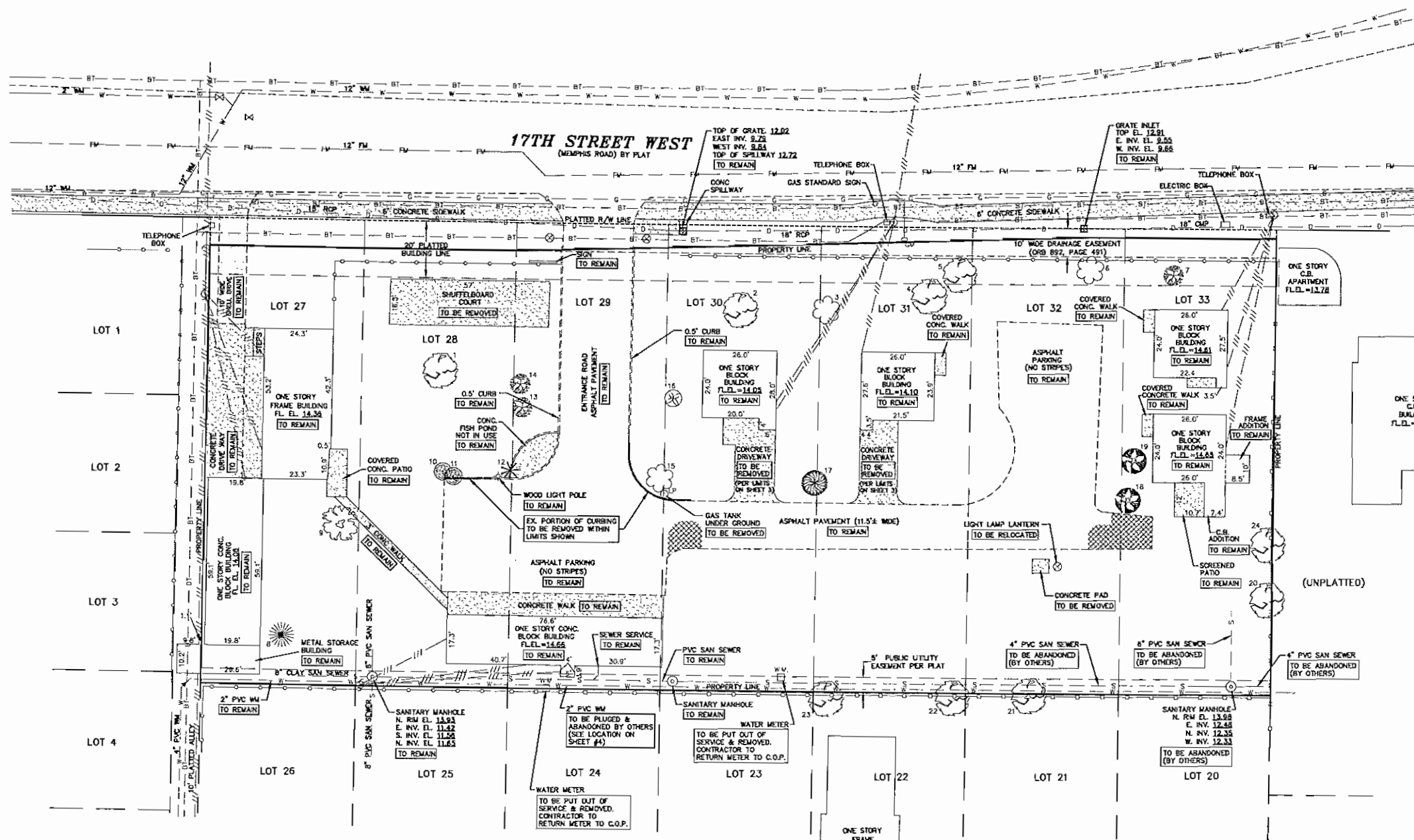
PREPARED BY:



ALLISON
ENGINEERING

926 14TH ST. W.
BRADENTON, FL 34205
TEL: (941) 708-5400

17TH STREET WEST (MEMPHIS ROAD) BY PLAT



TREE TABLE				
TREE #	TYPE	DIAMETER	HEIGHT	UMB SPAN
1	OAK	38"	30'	30'
2	DEAD HICKORY	30"	45'	40'
3	UNKNOWN	15"	30'	40'
4	OAK	40"	50'	60'
5	OAK	30"	45'	60'
6	UNKNOWN	36"	30'	40'
7	CITRUS	10"	12'	10'
8	CABBAGE PALM	15"	30'	10'
9	EAR POD	36"	40'	40'
10	CARROTHOOD	4"	15'	10'
11	CARROTHOOD	5"	15'	10'
12	PALM CLUSTER (3)	ALL 4"	10'	14'
13	CITRUS	10"	20'	16'
14	CITRUS	8"	15'	16'
15	UNKNOWN	24"	20'	30'
16	GRAPE WYRTLE	12"	15'	12'
17	MAPLE	15"	35'	30'
18	FIGUS	10"	20'	14'
19	FIGUS	15"	30'	30'
20	OAK	36"	60'	80'
21	OAK	30"	60'	80'
22	OAK	35"	60'	70'
23	OAK	27"	50'	30'
24	OAK	30"	60'	80'

SOURCE: BENCH MARK
RAILROAD SPIKE W/ UTILITY POLE - 12' S. SOUTH
OF THE EDGE OF PAVEMENT OF 17TH STREET
WEST & 160' E. OF THE CENTERLINE OF
THE ENTRANCE ROAD TO CITY OF PALMETTO
PUBLIC WORKS DEPARTMENT.
ELEVATION = 12.50

NOTE: WATER & SEWER SERVICES FOR LOTS 20-26 TO BE
RELOCATED BY CITY OF PALMETTO PRIOR TO ANY
DEMOLITION OF EXISTING WATER & SEWER.

- LEGEND**
- EXISTING CONCRETE
 - EXISTING SHILL DRIVE
 - EXISTING ASPHALT PAVEMENT TO REMAIN
 - EXISTING ASPHALT PAVEMENT/CURB TO BE SAW-CUT & REMOVED
 - EXISTING CHAIN-LINK FENCE
 - EXISTING WOOD FENCE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING FORDOWN LINE
 - EXISTING DRAINAGE LINE
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING BURIED TELEPHONE LINE
 - EXISTING GAS LINE
 - EXISTING UTILITY POLE
 - EXISTING GUY WIRE & ANCHOR
 - EXISTING WOOD LIGHT POLE
 - EXISTING LAMP LANTERN
 - EXISTING GAS TANK UNDER GROUND
 - EXISTING GAS METER
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING 2.5' x 2.5' METAL GRATE (CATCH BASIN)
 - EXISTING WATER METER
 - EXISTING TREE (SEE TREE TABLE)

NOTES:

- CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES & INSTALLATION OF PROPOSED UTILITY CONDUITS W/ THE APPROPRIATE UTILITY COMPANY, (I.E. F.P.L., BRIGHTHOUSE, G.T.E., etc.)
- OFFSITE CONDITIONS SHOWN HEREIN ARE BASED ON BEST AVAILABLE INFORMATION.
- ALL DISTURBED AREAS TO BE SOOED IMMEDIATELY UPON COMPLETION OF GRADING.
- SEE LANDSCAPE & IRRIGATION PLAN FOR TREE REPLACEMENT/REMOVAL CRITERIA.



ALLISON
ENGINEERING

M. ANDREW ALLISON
PE # 53965

REVISIONS

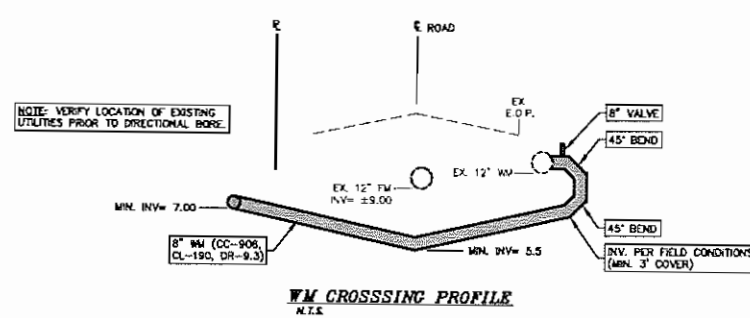
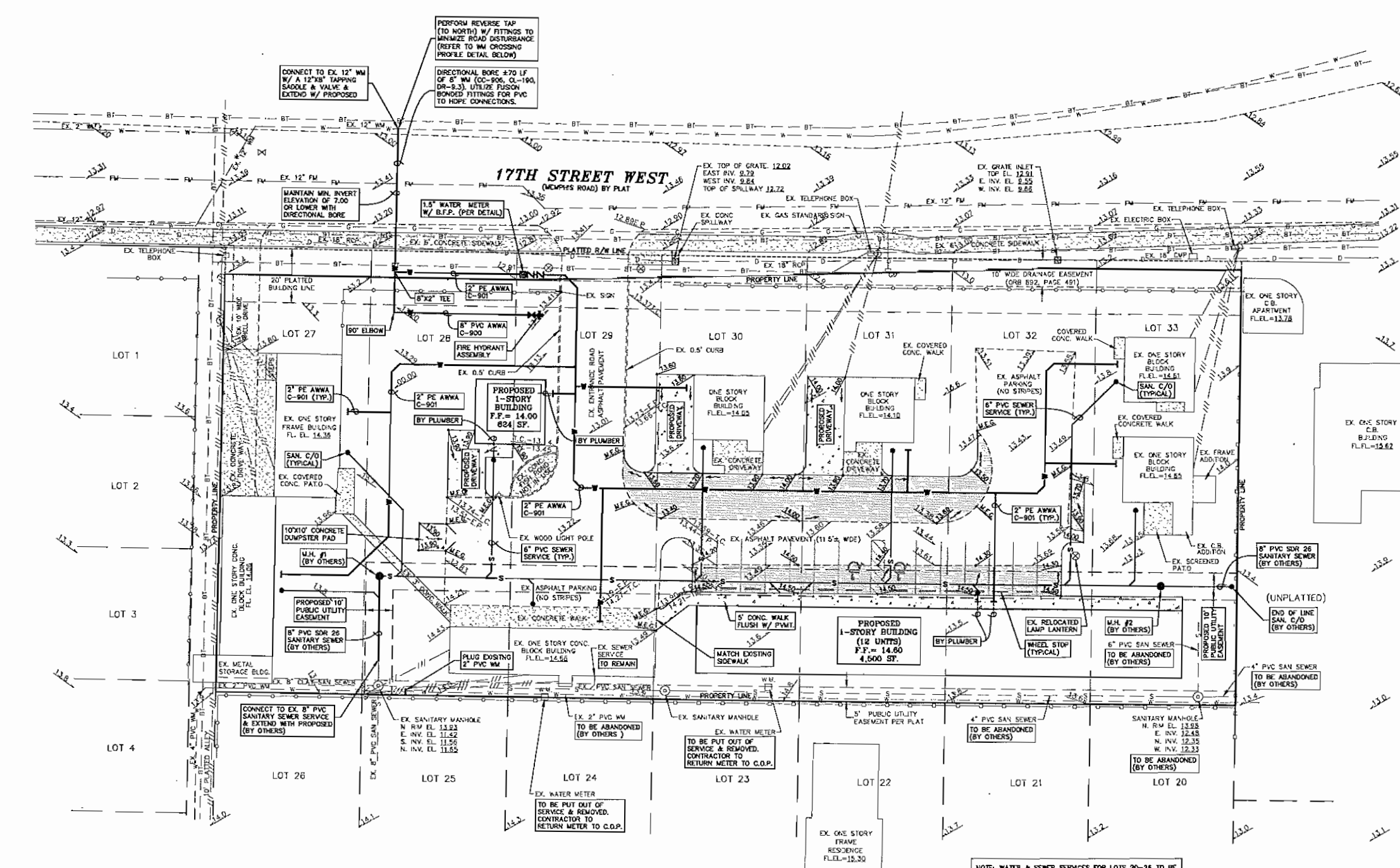
1	REVISION	DATE	BY
2			
3			
4			
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EXISTING CONDITIONS/DEMOLITION PLAN
FOR
C & D MIGRANT HOUSING

LOCATED IN
SECTION 14, TOWNSHIP 34 SOUTH, RANGE 17 EAST
CITY OF PALMETTO, FLORIDA

FILE NO. 2002-0002
DATE 3/27/04
JOB NO. 2002-0002
SCALE 1" = 20'

SHEET 2



- LEGEND**
- EXISTING CONCRETE
 - EXISTING SHELL DRIVE
 - EXISTING ASPHALT PAVEMENT TO REMAIN
 - EXISTING CHAIN-LINK FENCE
 - EXISTING WOOD FENCE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER
 - EXISTING FORCEMAIN LINE
 - EXISTING DRAINAGE LINE
 - EXISTING OVERHEAD UTILITY LINE
 - EXISTING BURIED TELEPHONE LINE
 - EXISTING GAS LINE
 - EXISTING UTILITY POLE
 - EXISTING GUY WIRE & ANCHOR
 - EXISTING WOOD LIGHT POLE
 - EXISTING LAMP LANTERN
 - EXISTING GAS TANK UNDER GROUND
 - EXISTING SANITARY SEWER MANHOLE (CATCH BASIN)
 - EXISTING WATER METER
 - EXISTING SPOT ELEVATION
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE
 - PROPOSED SPOT ELEVATION
 - MATCH EXISTING GRADE ELEVATION
 - PROPOSED SURFACE FLOW

NOTE: WATER & SEWER SERVICES FOR LOTS 20-26 TO BE RELOCATED BY CITY OF PALMETTO PRIOR TO ANY DEMOLITION OF EXISTING WATER & SEWER.

IMPERVIOUS AREAS CALCULATION:

EXISTING CONDITIONS:	
BUILDING	= 5,673 S.F.
CONCRETE/ASPHALT (DRIVES, PADS, & WALKS)	= 15,060 S.F.
TOTAL IMPERVIOUS AREA	= 21,733 S.F.
PROPOSED CONDITIONS:	
BUILDING	= 11,797 S.F.
CONCRETE/ASPHALT (DRIVES, PADS, & WALKS)	= 18,083 S.F.
TOTAL IMPERVIOUS AREA	= 29,880 S.F.
TOTAL INCREASE IMPERVIOUS AREA	= 8,147 S.F.

- NOTES**
- ALL CONSTRUCTION TO BE IN COMPLIANCE WITH PRESENT CITY OF PALMETTO STANDARDS.
 - OFFSITE CONDITIONS SHOWN HEREIN ARE BASED ON BEST AVAILABLE INFORMATION.
 - CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES & INSTALLATION OF PROPOSED UTILITY CONDUITS W/ THE APPROPRIATE UTILITY COMPANY, (I.E. F.P.L., BRIGHTHOUSE, G.T.E., etc.)
 - EXISTING ASPHALT AREAS TO BE RESHAPED TO PROPOSED GRADES AND CONTOURS AS SHOWN. THESE AREAS SHALL RECEIVE BASE MATERIAL (6" OF CRUSHED CONCRETE MANHOLE, 18"100) AND 1.5" OF TYPE S-B ASPHALT. EXISTING ASPHALT AREAS TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND RECEIVE 1.5" OF TYPE S-B ASPHALT.
 - THE WM AND 8" TAPPING SADDLE AND VALVE SHALL BE TESTED SEPARATELY AND PLACED INTO SERVICE PRIOR TO CONNECTION. A VISUAL INSPECTION SHALL BE SCHEDULED WITH THE EOR AND CITY OF PALMETTO PRIOR TO CONNECTING THE TAPPING SADDLE AND 8" WM.

GENERAL CONSTRUCTION NOTES

1. ALL PROPOSED CONSTRUCTION IS TO MEET OR EXCEED THE LATEST APPLICABLE CITY OF PALMETTO CONSTRUCTION STANDARDS AND SPECIFICATIONS. ALL PROPOSED CONSTRUCTION IS TO BE PRIVATELY OWNED AND MAINTAINED FOLLOWING COMPLETION AND ACCEPTANCE.
2. THE CONTRACTOR IS TO COORDINATE THE LOCATION AND ELEVATION OF ALL UTILITY, GTE AND IRRIGATION SERVICE SLEEVES WITH RESPECTIVE AGENCY PRIOR TO CONSTRUCTION.
3. ALL PROPOSED ELECTRICAL AND COMMUNICATION SERVICES ARE TO BE LOCATED UNDERGROUND AS DIRECTED BY RESPECTIVE AGENCY.
4. CURBING AT SIDEWALK INTERSECTIONS TO BE RECESSED FOR PEDESTRIAN RAMPS. RAMPS TO BE CONSTRUCTED AT TIME OF CURB RADI.
5. CONTRACTOR TO OBTAIN APPLICABLE PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND ISSUANCE OF ALL COMMENCEMENT AND/OR PROGRESS NOTICES TO GOVERNMENTAL AGENCIES DURING THE COURSE OF CONSTRUCTION, AS REQUIRED FOR INSPECTION, TESTING AND TRACKING PER APPLICABLE AGENCY PERMIT CONDITIONS.
7. NOTIFY CITY OF PALMETTO PRIOR TO THE INITIATION OF CONSTRUCTION. A PRE CONSTRUCTION INSPECTION OF THE SEDIMENTATION AND EROSION CONTROL (ESCP) DETAILS MAY BE REQUIRED AND WILL BE THE OPTION OF THE CITY OF PALMETTO STAFF.
8. CONTRACTOR TO NOTIFY "SUNSHINE" AND COP 48 HOURS PRIOR TO START OF CONSTRUCTION.
9. ALL REQUIRED AND EXISTING ROADWAY STRIPING, PAVEMENT SYMBOLS, AND RAISED PAVEMENT MARKERS TO BE THE RESPONSIBILITY OF THE PROVIDER.
10. TOPOGRAPHIC AND PROPERTY SURVEYS GIVING LOT SIZE, GROUND ELEVATIONS, OBSTRUCTIONS ON SITE, LOCATIONS AND DEPTHS OF SEWERS, CONDUITS, PIPES, EXISTING STRUCTURES, CURBS, PAVEMENTS, TRACTS, AND SOIL BORING DATA GIVING THE NATURE OF GROUND AND SUBSURFACE CONDITIONS HAVE BEEN OBTAINED FROM RELIABLE SOURCES. THE ACCURACY OF THIS DATA IS NOT GUARANTEED, AND IS FURNISHED SOLELY AS AN ACCOMMODATION TO THE CONTRACTOR. USE OF THIS DATA SHALL BE MADE AT THE CONTRACTOR'S DISCRETION. NO ADDITIONAL COMPENSATION WILL BE GRANTED DUE TO THE CONTRACTOR'S LACK OF KNOWLEDGE OF SITE CONDITIONS. PRIOR TO BID SUBMISSION, THE CONTRACTOR SHALL CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS NECESSARY TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED.
11. ALL CONSTRUCTION STAKEOUT AND RECORD DRAWING INFORMATION IS TO BE PERFORMED IN THE FIELD BY OR UNDER THE SUPERVISION OF A FLORIDA REGISTERED LAND SURVEYOR.
12. THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD (EOR) WITH ALL NECESSARY TEST INFORMATION TO CERTIFY THE JOB IS COMPLETE PER CITY OF PALMETTO STANDARDS. THIS SHALL INCLUDE BUT NOT LIMITED TO DENSITY & LAB TESTING OF BASE & SUB-BASE MATERIAL & BACTERIOLOGICAL CLEARANCE.
13. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMIT CONDITIONS AND REGULATIONS FOR ALL LOCAL, REGIONAL AND STATE AGENCIES, INCLUDING, BUT NOT LIMITED TO, FINAL SITE PLANS, UTILITIES, DRAINAGE, FUGITIVE PARTICULATES AND EROSION.
14. ALL DRAINAGE, GRADING, WATER, AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PALMETTO COUNTY STANDARDS AND SPECIFICATIONS.
15. ALL SOODED AND SEEDED AREAS BE WATERED AND FERTILIZED UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.
16. THE OWNERS SHALL SUPPLY ALLISON ENGINEERING INC. WITH A PHOTOGRAPHY OF ALL COMPACTION TESTS AND OTHER REQUIRED MATERIALS TESTS UNDER THE TESTING SCHEDULE GUIDE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL REQUIRED TESTING WITH THE GEOTECHNICAL ENGINEER. UPON COMPLETION OF THE WORK, THE GEOTECHNICAL ENGINEER SHALL SUBMIT CERTIFICATIONS TO THE ENGINEER AND OWNER THAT STATE THAT ALL REQUIREMENTS HAVE BEEN MET.
18. THE CONTRACTOR SHALL REVIEW ALL PROJECT GEOTECHNICAL REPORTS PRIOR TO BIDDING AND THE START OF CONSTRUCTION.
19. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED CONSTRUCTION DRAWINGS AND ALL PERMITS AT THE CONSTRUCTION SITE.

TRAFFIC NOTES

1. ALL CONSTRUCTION WITHIN THE RIGHT OF WAY IS TO BE IN ACCORDANCE WITH CURRENT FDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION AND THE ROADWAY AND TRAFFIC DESIGN STANDARD INDEX. SAFETY PROCEDURES TO BE ADHERED PER FDOT UTILITY ACCOMMODATION GUIDE.
2. ALL SIGNING AND STRIPING WITHIN THE RIGHT OF WAY IS TO BE IN ACCORDANCE WITH FDOT STANDARD INDEX 17346.
3. ALL RAISED REFLECTIVE PAVEMENT MARKING PLACEMENT WITHIN THE RIGHT OF WAY IS TO BE IN ACCORDANCE WITH FDOT STANDARD INDEX 17352.
4. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY TO BE REGRASSSED PER FDOT SPECIFICATIONS.
5. ALL SIGNS, POLES, MAILBOXES, LANDSCAPE, DRIVEWAYS, AND OTHER ENCUMBRANCES OF THE RIGHT OF WAY NOT SHOWN ON THIS PLAN TO BE REPLACED OR RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.
6. ALL MAINTENANCE OF TRAFFIC TO BE PER FDOT SPECIFICATIONS.
7. ALL TRAFFIC CONTROL, SIGNAGE AND PAVEMENT MARKINGS, IF WARRANTED, SHALL CONFORM TO FDOT AND MUTCD STANDARDS.
8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN APPROVED ROW USE PERMIT PRIOR TO ANY WORK WITHIN COUNTY (17TH STREET WEST) ROW.

UTILITY NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PRODUCTION OF REPRODUCIBLE RECORD DRAWINGS. PRIOR TO SCHEDULING OF ANY UNDERGROUND UTILITY PRESSURE TESTS, CONTRACTOR SHALL HAVE OBTAINED (FROM A PROFESSIONAL SURVEYOR) ALL NECESSARY FIELD DATA REQUIRED FOR THE PRODUCTION OF RECORD DRAWINGS. SAID RECORD DRAWINGS ARE TO MEET THE REQUIREMENTS OF CITY OF PALMETTO HEALTH DEPARTMENT & PUBLIC WORKS DEPARTMENT MINIMUM TECHNICAL STANDARD (REV.03) AND FDOT. THE CONTRACTOR SHALL PROCESS SAID DRAWINGS THROUGH CITY OF PALMETTO PLANNING, PERMITTING AND INSPECTIONS DEPARTMENT AND UPON COMPLETION SHALL PROVIDE A REPRODUCIBLE MYLAR AND FIVE SETS OF PRINTS OF THE RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR TO THE ENGINEER. THESE RECORD DRAWINGS SHALL BE CERTIFIED TO THE OWNER, APPROPRIATE GOVERNMENTAL AGENCIES, AND ALLISON ENGINEERING, INC.
2. THE CONTRACTOR IS TO ASSURE HIMSELF THAT ALL UNDERGROUND UTILITIES AND STORM SEWER IS CONSTRUCTED, TESTED AND OPERATIONAL PRIOR TO ANY ROADWAY CONSTRUCTION.
3. WATERMANS ARE TO BE PIGMENTED, COLOR BLUE, SOR-18, C-900 OR C-905 PVC. WATER SERVICES, WHERE LOCATED UNDER PAVEMENT, TO BE ENCASED IN CLASS 180, SOR-25 (3" MIN.). MAINTAIN A MINIMUM OF 36" COVER.
4. GRAVITY SANITARY SEWERS ARE TO BE PIGMENTED, COLOR GREEN, SOR 26 PVC AND CONFORMING TO ASTM D-3034. MAINTAIN A MINIMUM OF 36" COVER.
5. SANITARY SEWER FORCEMAINS ARE TO BE PIGMENTED, COLOR GREEN, SOR-18, C-900 OR C-905 PVC. MAINTAIN A MINIMUM OF 36" COVER.
6. RECLAIMED WATERMANS ARE TO BE PIGMENTED, COLOR PURPLE, SOR-18, C-900 OR C-905 PVC. MAINTAIN A MINIMUM OF 36" COVER.
7. 10' HORIZONTAL AND 1.5' VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN SEWER AND WATER LINES MEETING "TEN STATE STANDARDS, SECTION 38.31".
8. ALL UTILITIES SHOWN AS EXISTING WERE DERIVED FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION, SIZE, TYPE, AND AMOUNT OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR TO NOTIFY "CALL SUNSHINE" (PH. 1-800-432-4770), COP AND FPAL 48 HOURS MINIMUM PRIOR TO START OF CONSTRUCTION FOR POSSIBLE DRAINAGE LOCATIONS NOT SHOWN ON PLANS.
9. CONTRACTOR IS RESPONSIBLE FOR ALL GOVERNMENTAL CONSTRUCTION ELKS AND CHARGES, I.E. INSPECTIONS AND TESTING FEES. HOWEVER, IMPACT FEES (IF), IF APPLICABLE, TO BE PAID BY THE OWNER. A UTILITY TESTING DEPOSIT MUST BE PAID TO CITY OF PALMETTO PRIOR TO SCHEDULING ANY UTILITY TEST.
10. ALL EASEMENTS AS SHOWN WITHIN THE PROJECT BOUNDARY LIMITS ARE TO BE CONSIDERED PUBLIC (UNLESS OTHERWISE STATED). EASEMENTS TO BE GRANTED IN CONJUNCTION WITH RECORD PLAT PROCESSING.
11. CONTRACTOR SHALL NOTIFY GAS COMPANY PRIOR TO ANY WORK WITHIN EXISTING GAS EASEMENT.
12. CONTRACTOR TO COORDINATE PRESSURE TEST W/ THE CITY OF PALMETTO PROJECT MANAGEMENT INSPECTIONS DEPARTMENT (723-4500) PRIOR TO CONNECTING THE WATER AND FIRE LINE SERVICE. CONTRACTOR SHALL PROVIDE E.O.U. WITH PRESSURE TEST RESULTS AND BACTERIOLOGICAL CLEARANCE PRIOR TO CONNECTION OF SAME.
13. EXISTING WELLS SHALL BE KEPT IN A WATER TIGHT MANNER AND BE PROTECTED DURING ALL CONSTRUCTION ACTIVITIES. ANY WELLS DISCOVERED DURING LAND CLEARING SHALL BE PROTECTED OR ABANDONED IN ACCORDANCE WITH SWFWMD RULE CHAPTER 400.
14. CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES AND INSTALLATION OF PROPOSED UTILITY CONDUITS WITH THE APPROPRIATE UTILITY COMPANY (I.E., FPL, BRIGHTHOUSE, GTE, etc.).

CLEARING AND GRUBBING NOTES

1. EROSION CONTROL PREVENTIVE METHODS, SILT SCREENING AND/OR HAY BALES, TO BE IN PLACE PRIOR TO COMMENCEMENT OF EARTHWORK CONSTRUCTION TO MINIMIZE EROSION AND SEDIMENTARY RUNOFF. THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR ANY POTENTIAL EROSION PROBLEMS. IF ANY POTENTIAL EROSION PROBLEMS ARE ENCOUNTERED, OR HAVE OCCURRED, THE CONTRACTOR SHALL INSTALL PROPER EROSION CONTROL MEASURES IMMEDIATELY. STORMWATER TREATMENT FACILITIES ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO UNTREATED RUNOFF OFF-SITE OCCURRING DURING CONSTRUCTION.
2. EROSION CONTROL AND FUGITIVE PARTICULATE ABATEMENT PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR. A "BEST PRACTICES" EROSION CONTROL PLAN SHALL BE PROVIDED BY THE CONTRACTOR TO ARO PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL EXISTING TREES AND BRUSH DESIGNATED FOR REMOVAL ARE TO BE CLEARED AND DISPOSED OF OFF-SITE, OR BURIED ON-SITE IF APPROVED BY THE DISTRICT FIRE DEPARTMENT AND COUNTY HEALTH DEPARTMENT. ALL EXISTING TREES AND UNDERBRUSH AREAS THAT ARE TO REMAIN UNDISTURBED SHALL BE PROTECTED BY BARRICADES. THE CONTRACTOR SHALL INSTALL SAID BARRICADES AT COMMENCEMENT OF CONSTRUCTION AND REMOVE FOLLOWING FINAL GRADING AND LANDSCAPING.
4. SOODING AND/OR GRASSING TO BE COMPLETED IMMEDIATELY UPON COMPLETION OF FINISH GRADING. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FUGITIVE PARTICULATE ABATEMENT PLAN (DUST CONTROL).
5. PROPOSED PARKING AND BUILDING AREAS TO BE CLEARED OF ALL TREES AND BRUSH, AND STRIPPED TO A MINIMUM DEPTH OF 18" AND/OR BOTTOM OF ORGANIC LAYER.
6. REMOVAL OF ALL EXOTIC NUISANCE PLANT SPECIES FROM THE UPLAND PORTIONS OF THE SITE SHALL BE COMPLETED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY ISSUANCE OR FINAL PLAT APPROVAL, IN ACCORDANCE WITH THE CITY OF PALMETTO.
7. PRIOR TO COMMENCEMENT OF CONSTRUCTION OR LAND CLEARING, AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) SHALL BE SUBMITTED TO THE CITY OF PALMETTO FOR REVIEW AND APPROVAL. FINAL SITE PLANS, CONSTRUCTION PLANS, EXP AND NOTES PERMIT APPROVALS MUST BE OBTAINED PRIOR TO SUBMITAL OF THE ESCP.

ESCP NOTES

1. DETAILS OF CONSTRUCTION SEQUENCING, DEWATERING ACTIVITIES AND SUMP LOCATIONS, STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS.
 - A. DESCRIPTION OF LAND CLEARING/DISTURBING ACTIVITIES, EXISTING SITE CONDITIONS AND ADJACENT LAND UNEXPOSED THAT MIGHT BE AFFECTED BY LAND CLEARING DISTURBANCES.
RESPONSE: LAND CLEARING SHALL CONSIST OF 1" OF CURBING OF A GRASSED AREA.
 - B. IDENTIFICATION OF STOCKPILE AREAS AND/OR DEPOSITION AREAS FOR EXCAVATED MATERIALS.
RESPONSE: NO STOCKPILE AREAS WILL BE NECESSARY, FILL WILL BE PLACED AS RECEIVED.
 - C. DESCRIPTION OF POTENTIAL ON-SITE PROBLEM AREAS SUCH AS STEEP GRADE CHANGES, HIGHLY ERODIBLE SOILS, AREAS ADJACENT TO WETLANDS SURFACE WATERS, OR UPLAND PRESERVATION AREAS.
RESPONSE: STEEP SLOPE AREAS WILL BE STABILIZED WITH SOO AS SOON AS GRADES ARE BROUGHT TO DESIGN ELEVATION AND FINISHED GRADING HAS BEEN COMPLETED.
 - D. CONSTRUCTION SCHEDULING, INCLUDING THE EXPECTED STARTING AND STABILIZATION DATES.
RESPONSE: CONSTRUCTION IS SCHEDULED TO COMMENCE IMMEDIATELY UPON APPROVAL OF THE ESCP/CONSTRUCTION PLANS AND IS ANTICIPATED TO TAKE 1 YEAR TO COMPLETE, THE SITE IMPROVEMENTS.
 - E. IDENTIFICATION OF DISTURBED AREAS WHERE CONSTRUCTION WILL NOT BE ONGOING AND FINAL GRADE WILL NOT BE ACHIEVED WITHIN FOURTEEN (14) DAYS, AND AN INDICATION OF TEMPORARY STABILIZATION DATES.
RESPONSE: DISTURBED AREAS WILL BE STABILIZED (I.E. GRASSSED) IMMEDIATELY UPON COMPLETION OF FINISHED GRADING.
2. DETAILS OF BEST MANAGEMENT PRACTICES AND FUGITIVE PARTICULATE ABATEMENT METHODS.
 - A. DETAILS, DRAWINGS AND CROSS-SECTIONS OF EROSION AND SEDIMENT CONTROL DEVICES, IF DIFFERENT FROM THE APPROVED FINAL SITE PLAN/CONSTRUCTION PLANS AND WHEN THEY WILL BE INSTALLED.
RESPONSE: PLEASE REFER TO THE ATTACHED ESCP.
 - B. MAINTENANCE PROGRAM FOR EROSION AND SEDIMENT CONTROL DEVICES INCLUDING INSPECTION FREQUENCY AND MAINTENANCE ACTIVITIES.
RESPONSE: SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR DAILY AND WITHIN 1 HOUR AFTER A RAINFALL EVENT OF 1" OR GREATER. A DAILY INSPECTION SHEET SHALL BE POSTED TO THE "CONSTRUCTION BOX" ON SITE FOR REVIEW BY AGENCY STAFF ON THIS OFFICE.
 - C. HAUL ROUTES AND DETAILS OF AFRON STABILIZATION AT INGRESS/EGRESS POINTS TO RIGHTS-OF-WAY.
RESPONSE: NO HAUL ROUTES WILL BE NECESSARY FOR THIS DEVELOPMENT.
 - D. DETAILS/LOCATIONS OF EQUIPMENT WASHING AREA.
RESPONSE: PLEASE SEE ATTACHED ESCP.
 - E. DETAILS OF FUGITIVE PARTICULATE ABATEMENT METHODS.
RESPONSE: PLEASE SEE ATTACHED ESCP. TRUCK WASHING AND/OR HYDRO SEEDING SHOULD ABATEMENT PROBLEMS EXIST.
 - F. CONTRACTOR INFORMATION, INCLUDING A TWENTY-FOUR HOUR, EVEN-DAY CONTACT AND PHONE NUMBER.
RESPONSE: CONTRACTOR INFO TO BE DETERMINED.
3. DETAILS OF DEWATERING ACTIVITIES AND LOCATIONS, DRAWINGS AND CROSS SECTIONS OF DEWATERING SUMPS.
RESPONSE: PLEASE SEE ATTACHED ESCP.

DRAINAGE AND GRADING NOTES

1. THE CONTRACTOR IS TO PROVIDE THE ENGINEER OF RECORD WITH REPRODUCIBLE RECORD DRAWINGS SHOWING ALL IMPROVEMENT LOCATIONS AND ELEVATIONS IN ACCORDANCE WITH LATEST CITY OF PALMETTO PLANNING, PERMITTING AND INSPECTIONS AND SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWMD) STANDARDS. THE CONTRACTOR SHALL ALSO PROVIDE FIVE SETS OF PRINTS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR, OF THE RECORD DRAWINGS TO THE ENGINEER OF RECORD, SAID RECORD DRAWINGS, AT A MINIMUM, SHOULD INCLUDE ALL INFORMATION SHOWN ON THE CONSTRUCTION PLANS.
2. TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAY BALES, STAKED SILT SCREENS, OR INLET DEEPS CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUNOFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION. SOIL SHOULD BE WATERED DURING ANY INDICATION OF AIRBORNE MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY FUNCTION OF ALL EROSION CONTROL DEVICES AND SHOULD LEAVE THEM IN PLACE UNTIL THE JOB IS DEEMED COMPLETE BY THE ENGINEER OF RECORD (EOR) AND ALL APPLICABLE GOVERNMENT AGENCIES.
3. ALL DRAINAGE SHOWN AS EXISTING WERE DERIVED FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION, SIZE, TYPE, AND AMOUNT OF EXISTING DRAINAGE PRIOR TO CONSTRUCTION. THE CONTRACTOR TO NOTIFY "CALL SUNSHINE" (PH. 1-800-432-4770), COP AND FPAL 48 HOURS MINIMUM PRIOR TO START OF CONSTRUCTION FOR POSSIBLE DRAINAGE LOCATIONS NOT SHOWN ON PLANS.
4. AS-BUILT STORMWATER FACILITY LOCATIONS, INCLUDING TOP OF BANK, UNDERGROUN AND CONTROL STRUCTURES, SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE AND PAYMENT. BENCH MARKS WITH THE ELEVATION CLEARLY AND PERMANENTLY MARKED ARE TO BE PLACED ON THE TOP OF ALL PROPOSED OUTFALL CONTROL STRUCTURES. AS-BUILTS OF ALL UTILITY AREAS INCLUDING ELEVATIONS, ZONES AND LIMITS SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE AND PAYMENT.
5. ALL PIPE LENGTHS SHOWN ON PLAN VIEW ARE TO THE END OF THE MITRED END SECTION. REFER TO WATERED END SECTION DETAIL FOR LENGTH OF PIPE TO BE INCLUDED IN PRICE FOR MITRED END SECTION.
6. RIGHT OF WAY USE PERMIT TO BE OBTAINED BY THE CONTRACTOR FOR OFF-SITE CONSTRUCTION.
7. THE CONTRACTOR SHALL VERIFY TOPOGRAPHY AND SATISFY HIMSELF AS TO THE EXTENT OF FILL NECESSARY TO ACHIEVE FINISHED GRADE PRIOR TO AWARD OF CONTRACT. THERE SHALL BE NO CLAIM FOR EXTRAS NOTWITHSTANDING SITE PLAN REVISIONS PROMULGATED SUBSEQUENT TO AWARD OF CONTRACT.
8. THE CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND CALCULATING ALL CUT AND FILL QUANTITIES. PRIOR TO BID SUBMISSION THE CONTRACTOR SHALL CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS HE DEEMS NECESSARY TO CALCULATE THE CUT AND FILL QUANTITIES PROPERLY. ADDITIONAL SURVEYS AND TESTS MADE BY THE CONTRACTOR SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
9. ROADSIDE UNDERGROUN SHOWN ON PLAN IS MINIMUM AND EXTENSION SHALL BE REQUIRED AS DETERMINED NECESSARY BY THE ENGINEER OF RECORD AND/OR COP INSPECTION DEPARTMENT DURING THE COURSE OF CONSTRUCTION.
10. ALL BIDDERS ARE HEREBY ADVISED THAT ALL EXCAVATION ON THIS PROJECT MUST COMPLY WITH FLORIDA STATUTE 90-86 "TRENCH SAFETY ACT", AND THAT THE COST OF COMPLIANCE IS TO BE INCLUDED IN HIS BASE BID. THE BIDDER SHALL INDICATE ON THE BID FORM THE COSTS ASSOCIATED WITH COMPLIANCE.
11. SUITABLE FILL MATERIAL FROM STORMWATER FACILITIES EXCAVATION SHALL BE UTILIZED FOR PROJECT FILL PER GRADING SPECIFICATIONS. UNSUITABLE MATERIAL SHALL BE PLACED IN OPEN AREAS ONLY AS OUTGUT BY THE PROJECT ENGINEER AND SOILS ENGINEER.
12. ALL EASEMENTS AS SHOWN WITHIN THE PROJECT BOUNDARY LIMITS ARE TO BE CONSIDERED PUBLIC (UNLESS OTHERWISE STATED). EASEMENTS TO BE GRANTED IN CONJUNCTION WITH RECORD PLAT PROCESSING.

TESTING SCHEDULE GUIDE

ITEM	TEST TYPE	TEST ID.	REQUIREMENT	FREQUENCY
Embankment	Maximum Density Optimum Moisture Field Density	AASHTO T180 ASTM D1557 AASHTO T191, T204 T238 ASTM D1556, D2937 D2922	N/A 95% of maximum Density	Per Soil Type One Per 2,500 S.F. Horizontally * ; Alternating Lins (12 Inches)
Utility Trench Backfill Under Roadway and Structures	Maximum Density Optimum Moisture Field Density	AASHTO T180 ASTM D1557 AASHTO T191, T204 T238 ASTM D1556, D2937 D2922	N/A 95% of maximum Density	Per Soil Type One Per 2,500 S.F. Horizontally * ; Every 2' Vertically D2922 At least one for each pipe run
Backfill of Structures	Maximum Density Optimum Moisture Field Density	AASHTO T180 ASTM D1557 AASHTO T191, T204 T238 ASTM D1556, D2937 D2922	N/A 95% of maximum Density	Per Soil Type Every 2' Vertically
Subgrade	Bearing Values	LBR - FLA. D.O.T.	See Titled Pavement Section	One Per Soil Type Check Point LBR at 500 L. F. Horizontally One Per Soil Type
	Maximum Density Optimum Moisture Field Density & Thickness	AASHTO T180 ASTM D1557 AASHTO T191, T238 ASTM D1556, D2922	See Titled Pavement Section	One Per 2,500 S.F. Horizontally
Subgrade	Bearing Values	LBR - FLA. D.O.T.	See Titled Pavement Section	One Per Source or as M.U. Changes Check Point LBR at 500 L. F. Horiz.
	Maximum Density Optimum Moisture Field Density Gradation	AASHTO T180 ASTM D1557 AASHTO T191, T238 ASTM D1556, D2922 AASHTO T27, T98 AASHTO T60 ASTM D136, D423, D424	See Titled Pavement Section	One Per Source One Per 2,500 S.F. Horizontally One Per Source
Soil Cement Base (To be used if separation between SWM & bottom of base is <1.5')	Mix Design Maximum Density Optimum Moisture Compressive Strength Specimens Test Cores	Portland Cement Assoc. Specifications AASHTO T134 (Standard) Portland Cement Assoc. Specifications Portland Cement Assoc. Specifications	See Titled Pavement Section	One Per Soil Type One Per Soil Type Daily One Set of 3 Per Soil One Set of 3 Per Soil
	Field Density & Thickness	AASHTO T191, T238 ASTM D1556, D2922	Per Specifications 95% of Lab Density	One Per 2,500 S.F. Horizontal
Aphalitic Concrete	Materials Quality Bitumen Content, Gradation Field Density	AASHTO T164 ASTM D2172 ASTM D2930-01	Per Specifications 95% of Lab Density	One Per Day One Per 2,500 S.F. Horizontal
	Los Angeles Abrasion Thickness	AASHTO T96-77 ASTM C131-81 N/A	Per Specifications Per Specifications	One Per Source One Per 2,500 S.F.

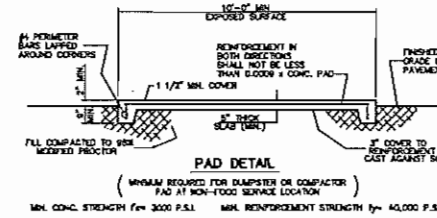
NOTES:
* The Contractor shall not pave over soil cement base until a 30 day curing time has elapsed
** Maximum strength limits, as established by soils testing company, shall not be exceeded
*** Should any of the information provided herein conflict with either the recommendations of the Geotechnical Engineer, and/or the Geotechnical report, then the aforementioned recommendations will supersede this "TESTING SCHEDULE GUIDE"

GENERAL NOTES & SPECIFICATIONS
FOR
C & D MIGRANT HOUSING
LOCATED IN
SECTION 14, TOWNSHIP 34 SOUTH, RANGE 17 EAST
CITY OF PALMETTO, FLORIDA

ANDREW ALLISON
PE # 53968

ALLISON
ENGINEERING
888 14th STREET WEST BRADSHAW, FLORIDA 34405 TEL: (407) 370-8400 FAX: (407) 370-8405
DESIGNED BY DATE 3/27/20 SCALE 1"=200'
DRAWN BY DATE 3/27/20 SCALE 1"=200'

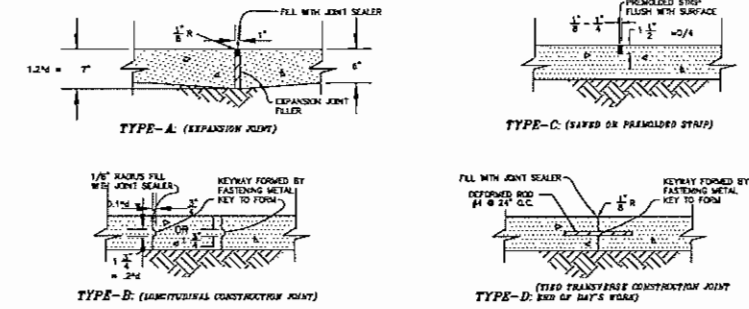
REVISIONS
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- NOTES:
1. IF OPaque FENCE WITH GATE REQUIRED AT ALL DUMPSTER PADS.
 2. MINIMUM GATE OPENING THRU FENCE OR SCREEN IS 8'-0\".
 3. IF WALL IS TO BE USED, SHOP DRAWINGS ARE TO BE SUBMITTED.

DUMPSTER PAD DETAIL

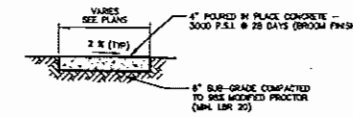
N.T.S.



- NOTE:
- CONCRETE TO BE SAW CUT ON 1/2\"

CONSTRUCTION JOINT DETAIL

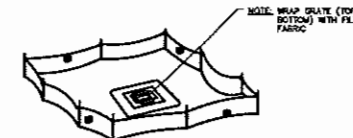
N.T.S.



- NOTE:
- WHERE CONCRETE SIDEWALK TIES IN WITH ANOTHER ROAD SURFACE, A 1/2\"

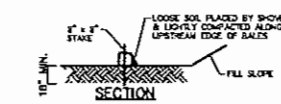
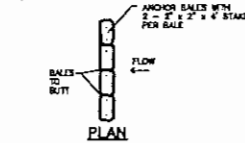
TYPICAL SIDEWALK DETAIL

N.T.S.



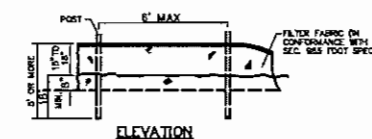
STAKED SILT BARRIER OR SILT FENCE PROTECTION AROUND GRATE INLETS

TO BE INSTALLED AND MAINTAINED AROUND ALL GRATE INLETS DURING CONSTRUCTION



TYPICAL BALE SILT BARRIER

N.T.S.



TYPICAL SILT FENCE

N.T.S.

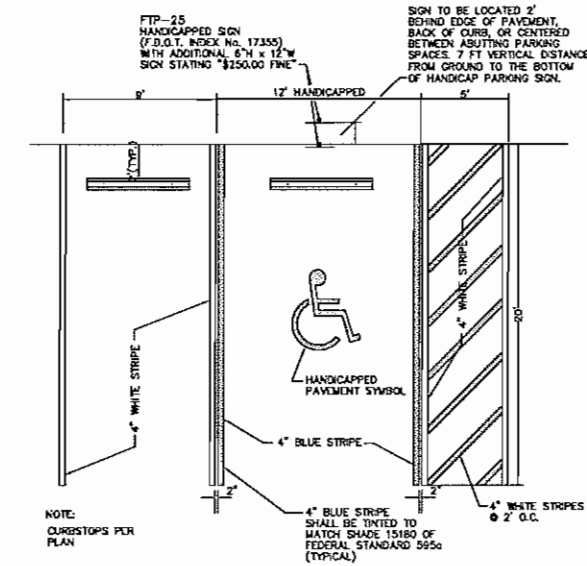


TYPICAL SILT FENCE

N.T.S.

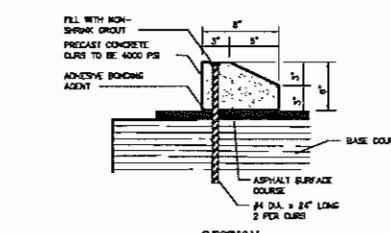
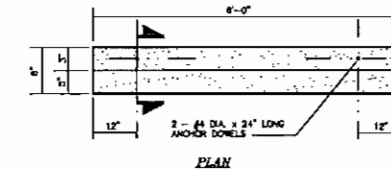
EROSION CONTROL DETAILS

N.T.S.



TYPICAL PARKING SPACES

N.T.S.



CONCRETE WHEEL STOP

N.T.S.

M. ANDREW ALLISON
PE # 53965

ALLISON
ENGINEERING

REVISIONS

1 2 3 4 5 6 7

FOR
C & D MIGRANT HOUSING
SECTION 14, TOWNSHIP 34 SOUTH, RANGE 17 EAST
CITY OF PALMETTO, FLORIDA

ALLISON
ENGINEERING

SHEET 6

1/2" = 1'-0" 3/16" = 2'-0" 1/8" = 4'-0" 1/4" = 6'-0" 3/8" = 9'-0" 1/2" = 12'-0" 3/4" = 18'-0" 1" = 24'-0" 1 1/4" = 30'-0" 1 1/2" = 36'-0" 1 3/4" = 42'-0" 2" = 48'-0" 2 1/4" = 54'-0" 2 1/2" = 60'-0" 2 3/4" = 66'-0" 3" = 72'-0" 3 1/4" = 78'-0" 3 1/2" = 84'-0" 3 3/4" = 90'-0" 4" = 96'-0" 4 1/4" = 102'-0" 4 1/2" = 108'-0" 4 3/4" = 114'-0" 5" = 120'-0" 5 1/4" = 126'-0" 5 1/2" = 132'-0" 5 3/4" = 138'-0" 6" = 144'-0" 6 1/4" = 150'-0" 6 1/2" = 156'-0" 6 3/4" = 162'-0" 7" = 168'-0" 7 1/4" = 174'-0" 7 1/2" = 180'-0" 7 3/4" = 186'-0" 8" = 192'-0" 8 1/4" = 198'-0" 8 1/2" = 204'-0" 8 3/4" = 210'-0" 9" = 216'-0" 9 1/4" = 222'-0" 9 1/2" = 228'-0" 9 3/4" = 234'-0" 10" = 240'-0" 10 1/4" = 246'-0" 10 1/2" = 252'-0" 10 3/4" = 258'-0" 11" = 264'-0" 11 1/4" = 270'-0" 11 1/2" = 276'-0" 11 3/4" = 282'-0" 12" = 288'-0" 12 1/4" = 294'-0" 12 1/2" = 300'-0" 12 3/4" = 306'-0" 13" = 312'-0" 13 1/4" = 318'-0" 13 1/2" = 324'-0" 13 3/4" = 330'-0" 14" = 336'-0" 14 1/4" = 342'-0" 14 1/2" = 348'-0" 14 3/4" = 354'-0" 15" 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Job Number: 2650
Sheet: 1 of 2
Job Title: LANDSCAPE & IRRIGATION PLAN
Date: 12/15/23 PM
City: PALMETTO, FLORIDA

IRRIGATION NOTES

MATERIAL:
Contractor agrees to furnish all materials and labor necessary to provide an operational irrigation system providing 100% coverage of all landscaped areas.

CONTROLLER: Rainbird ESP series
Location to be determined by the owner or architect.

SCHEDULE: Schedule 40 PVC
Installation to be coordinated with site work contractor and engineer.

RAIN SENSOR: Mini Dik II, Model 502. Mounted on the building or near irrigation supply.

CONSTRUCTION:
Comply with all State and Local codes. Use good irrigation practices.

WIRE:
Place wire under water main. Where more than one wire is placed in trench, tape wires together at 10' intervals and bottom of main at 10' intervals.

EXCAVATION:
Pipe trench work shall be coordinated with landscape and other contractors to avoid interference with trees, shrubs and other site improvements.

RE-USE EFFLUENT MARKINGS:
All pipe and components shall be properly colored for re-use if applicable.

HEADS:
Contractor to locate heads in built field and landscape conditions. Place top of heads 1" above final grade.

BACKFILLING:
Do not backfill until test by contractor and general inspection by owner's representative has been performed. Backfill may be essential material, but must be free of rocks or stones over 1" in diameter, debris or any sharp objects.

OPERATION TESTING:
Contractor shall instruct the owner on the system operation and shall run the system in the owner's presence to ensure that it is functioning properly and that all heads are in correct adjustment.

WARRANTY:
Unconditionally for a year after date of acceptance, except for reason of accidental damage/abuse. Necessary corrections to be made by contractor without delay at no expense to owner.

PERMITS:
Obtained by contractor at his expense.

CLEAN UP:
Maintain site clean from pipe clippings, debris and unwanted material at the end of the day.

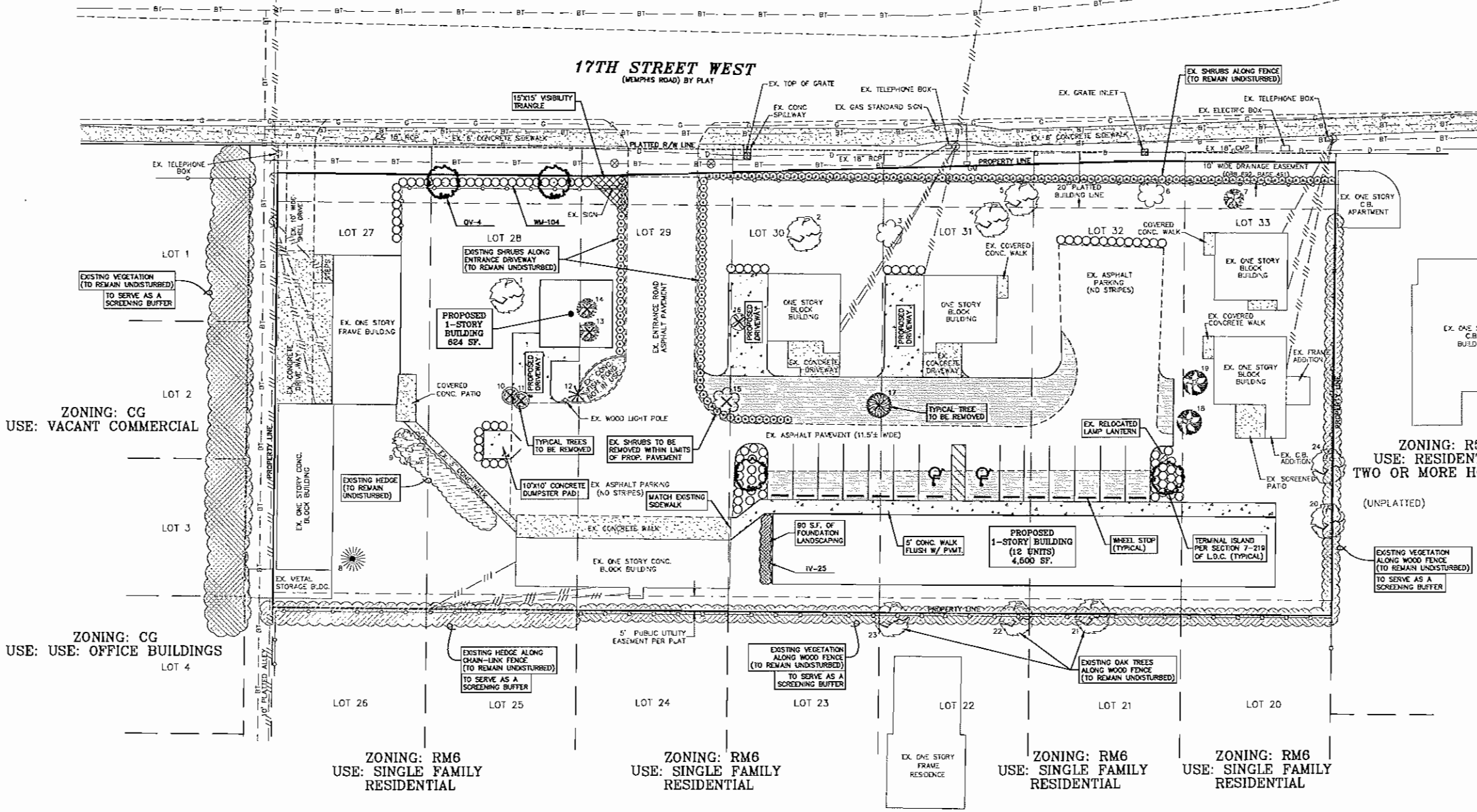
SOURCE:
Contractor to connect irrigation line to the existing irrigation system.

LANDSCAPE NOTES

- Typical materials, when called for on the plans, shall be free of sticks, stones larger than 1" dia., plants, or any other debris which would be toxic or otherwise harmful to plant growth. Topsoil should be fertile and of a naturally loamy character.
- The Landscape Contractor shall take all necessary precautions to protect all existing structures, utilities and vegetation to remain on the site and shall be held responsible for any damage caused by his operations.
- It shall be the Landscape Contractor's financial responsibility to prevent plants and trees from falling or being blown over, and to replace all plants which are damaged or killed at no additional cost to the owner for sustained winds of less than 65 MPH (hurricane).
- Maintenance shall begin after each plant has been installed and shall continue until final acceptance by the Engineer of record. Maintenance shall include pruning, mulching, weeding, replacement of sick or dead plants, watering (including cost of equipment such as a water-truck) and any other care which is needed for the proper growth of the plant material.
- Excess waste material shall be removed daily from the site.
- All plant materials used shall conform to the standards for Florida No. 1 or better as described in "Grades and Standards for Nursery Plants", State of Florida, Department of Agriculture and Consumer Services, Tallahassee, or equal thereto as approved.
- All shrub beds and hedges shall be top-dressed with 3" of mulch as specified in the Plant Schedule.
- It shall be the responsibility of the Landscape Contractor to coordinate activities with other contractors on the job site. Any damage caused to other work shall be the responsibility of the Landscape Contractor.
- All plant materials shall be fully guaranteed for a period of one (1) year following final acceptance by the owner.
- Unit prices for all plant material shall be provided to the Landscape Architect with bid.
- Contractor shall install an automatic irrigation system which provides 100% coverage of all required landscaped areas, including the lawn/area buffer as shown on plan.

LEGEND

- EXISTING CONCRETE
- EXISTING SHELL DRIVE
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CHAIN-LINK FENCE
- EXISTING WOOD FENCE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING BURIED TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING DRAINAGE LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE & ANCHOR
- EXISTING WOOD LIGHT POLE
- EXISTING LAMP LANTERN
- EXISTING GAS METER
- EXISTING TREES (SEE TREE TABLE)
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE



NOTE: CONTRACTOR SHALL OBTAIN ARBORIST RECOMMENDATION FOR PRESERVATION OF EXISTING TREES SHOWN TO REMAIN.

RAIN SENSOR IS TO BE LOCATED ADJACENT TO THE WALL.

IRRIGATION CONTROLLER TO BE LOCATED WITHIN OR ADJACENT TO THE PROPOSED BUILDING AS DETERMINED BY THE OWNER AND OR THE ARCHITECT.

ZONING: R5
USE: RESIDENTIAL
TWO OR MORE HOUSES
(UNPLATTED)

ZONING: CG
USE: VACANT COMMERCIAL

ZONING: CG
USE: OFFICE BUILDINGS

ZONING: RM6
USE: SINGLE FAMILY
RESIDENTIAL

ZONING: RM6
USE: SINGLE FAMILY
RESIDENTIAL

ZONING: RM6
USE: SINGLE FAMILY
RESIDENTIAL

ZONING: RM6
USE: SINGLE FAMILY
RESIDENTIAL

PLANT SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
4	QV	Quercus virginiana	Live Oak	10' ht.	As shown	2" cal., 4" spd., 4" cl.
25	IV	Ilex vomitoria 'Nana'	Schilling's Ilex	1 ga.	3' oc	8" ht., 8" spd.
104	COO WM	Myrica cerifera	Wax Myrtle	3 ga.	3' oc	18" x 16" spd.

Note: Alternate native species or species allowable by the City of Palmetto Land Development Code may be substituted for the above referenced species.

CITY OF PALMETTO FOUNDATION LANDSCAPE

REQUIRED: (4,800 S.F. x .02) = 96 S.F.
PROVIDED: MEETS 90 S.F.

TREES TO BE REMOVED		QTY.
GRAPE MYRTLE		1
MAPLE		1
UNKNOWN		1
TOTAL		3
REQUIRED REPLACEMENT TREES =		3
PROPOSED REPLACEMENT TREES =		3
TOTAL REPLACEMENT TREES PROVIDED:		3 - @ 10' HEIGHT WITH 2" CAL.

* - BASED ON SURVEY PROVIDED BY CLIENT.

TREE TABLE			
TREE #	TYPE	DIAMETER	HEIGHT
1	OAK	36"	30'±
2	DEAD HICKORY	30"	45'±
3	UNKNOWN	15"	30'±
4	OAK	40"	50'±
5	OAK	30"	45'±
6	UNKNOWN	36"	30'±
7	ORANGE	10"	12'±
8	CASABE PALM	15"	30'±
9	EAR TPO	30"	40'±
10	CARROTWOOD	4"	15'±
11	CARROTWOOD	5"	15'±
12	PALM CLUSTER (3)	ALL 4"	10'±
13	ORANGE	10"	20'±
14	ORANGE	10"	15'±
15	UNKNOWN	24"	20'±
16	GRAPE MYRTLE	12"± BASE	15'±
17	MAPLE	18"	35'±
18	FIGUS	10"	20'±
19	FIGUS	15"	30'±
20	OAK	38"	50'±
21	OAK	30"	60'±
22	OAK	33"	60'±
23	OAK	27"	60'±
24	OAK	30"	60'±

REVISIONS

1					
2					
3					
4					
5					
6					
7					

LANDSCAPE & IRRIGATION PLAN
FOR
C & D MIGRANT HOUSING
LOCATED IN
SECTION 14, TOWNSHIP 34 SOUTH, RANGE 17 EAST
CITY OF PALMETTO, FLORIDA

M. ANDREW ALLISON
PE # 53966

ALLISON
ENGINEERING

938 14th STREET WEST, PALMETTO, FLORIDA 34208
TEL: (813) 708-8400 FAX: (813) 708-8408
DESIGNED: MAA DATE: 1/27/08
DRAWN: GAO LOD NO.: 4880 SCALE: 1" = 20'

OLD BUSINESS

- a. CAD Drawing
- b. FDOT Right-of-Way & Permits for State Roads

This matter is still in discussion

*Michele S. Hall, P.L.
Attorney at Law
505 25th Street West
Bradenton, Florida 34205*

mshlawoffice@gmail.com

(941)745-1920 phone
(813)433-5556 fax

MEMORANDUM

TO: Planning and Zoning Board
CC: James R. Freeman, City Clerk
FROM: Michele S. Hall, City Attorney
DATE: June 24, 2008
RE: Record Drawings / Copyright Issue

A member of the Planning and Zoning Board has requested information pertaining to the City's receipt and use of record drawings in electronic format from architects and engineers. The member expressed concern as to potential liability of the City for violation of copyright laws.

Cities frequently request that project plans and record drawings be submitted to the City in an electronic format that permits manipulation so that they may be integrated with existing City data. While the language currently placed in City contracts provides some measure of protection against the City's inadvertent violation of copyright laws (possibly resulting from the alteration, reproduction or dissemination of drawings) it is my opinion that it would be prudent to include more detailed provisions in agreements with architects, engineers and other professionals submitting materials subject to copyright laws.

Recent contracts between the City and architects or engineers contain the following relevant language:

PROPERTY OF THE CITY

All reports, technical information, working data tabulation, background information, and information provided, obtained or prepared by the Consultant and equipment and supplies purchased outright pursuant to this Agreement, are the property of the City without restriction or limitation on their use and shall be made available upon request of the City at any reasonable time, including all

finished and unfinished documents and other material prepared or obtained by the Consultant.

The City shall have the right to use, without restriction or limitation for City government purposes and without additional charge, Consultant development software programs used in conjunction with the duties and responsibilities of Consultant under this Agreement. Except for the rights stated above, City shall not own or claim any right, title or interest in Consultant's software programs.

As a result of research conducted in the course of preparing this memorandum, I will recommend to the City that contracts with architects and engineers include more precise language, similar to the following:

PROPERTY OF THE CITY

All Project Documents (including, without limitation, all electronic versions and paper copies thereof) are and shall remain the sole and exclusive property of the City. Without derogation of City's rights under this Section _____, Consultant is granted a limited, non-exclusive license, revocable at will of the City, to use and reproduce applicable portions of the Project Documents as appropriate to and for use in the execution of the Work and for no other purpose.

Consultant hereby transfers and assigns to the City all copyright rights and all other intellectual property rights in and to any Project Documents prepared by Consultant including but not limited to, architectural works (as defined in 17 U.S.C. 101) and the designs and building designs depicted therein. The ownership of such rights is irrevocably vested solely in the City. Such transfer and assignment will be effective for the entire duration of the copyrights and includes, but is not limited to, all rights including rights in related plans, specifications, documentation, derivative works and moral rights.

The City may use the Project Documents, without Consultant's consent, in connection with any Project, including, without limitation, future additions, alterations, connections, repairs, information, reference, use or occupancy of the Project. City shall hold harmless Consultant against Losses arising from the City's use of the Project Documents for any other purpose, including use of the Documents on other Projects.

In the absence of an express finding that entering into a particular agreement with an architect or engineer is in the best interest of the public, I will

recommend that the City not enter into an agreement that contains a provision similar to the following:

*USE OF ARCHITECT'S DRAWINGS SPECIFICATIONS AND
OTHER DOCUMENTS*

The Drawings, Specifications and other documents prepared by the Architect for this Project are instruments of the Architect's service for use solely with respect to this Project and, unless otherwise provided, the Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies, including reproducible copies, of the Architect's Drawings, Specifications and other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others, unless the Architect is adjudged to be in default under this Agreement, except by agreement in writing and with appropriate compensation to the Architect. Submission or distribution of documents to meet official regulatory requirements or for similar purposes in connection with the Project is not to be construed as publication in derogation of the Architect's reserved rights.

Bob Schmitt

From: Giddens, Harris [Harris.Giddens@dot.state.fl.us]
Sent: Tuesday, June 24, 2008 5:32 PM
To: Frank Woodard
Subject: RE: Business Signs

Frank, The Department does not permit business signage on the right-of-way. And any sign within the right-of-way should be removed.

Thanks,

Ed Giddens
Permits Manager, Sarasota Operations
Office No. (941) 359-7313
Fax No. (941) 358-4303
Cell No. (941) 650-0214
harris.giddens@dot.state.fl.us

From: Frank Woodard [mailto:fwoodard@palmettofl.org]
Sent: Tuesday, June 24, 2008 4:36 PM
To: Giddens, Harris
Subject: Business Signs

Ed:

Can you provide me some input concerning business signs along DOT rights-of-way? The city is putting together community forums to discuss this issue and would like DOT requirements to be included.

Feel free to give me a call...

Thanks,
Frank Woodard II, Deputy Director
Pubic Works- Engineering & Project Mgt.
Office: (941) 723-4580,ext. 116
Fax: (941) 723- 4539

NEW BUSINESS

.....SIGNS.....

**IDEAS? CONCERNS? SUGGESTIONS?
WE WANT YOUR INPUT!!!**

*Get in on the ground floor concerning
Signs in Your Community*

**Join the Planning and Zoning Board on
July 23, 2008 at 6:15 p.m. in
City Hall (516 8th Ave W) for
preliminary discussions regarding
Signs in the City of Palmetto.**

**For more information please feel free
to call the Planning Department at
723-4580.**

**Input from this meeting will be
incorporated in future workshops as
they are scheduled.**